

Planning Committee

Time and Date

2.00 pm on Thursday, 13th August, 2026

Place

Committee Room 3 - Council House

1. **Apologies for Absence**

2. **Declarations of Interest**

3. **Members Declarations of Contact on Planning Applications**

Members are reminded that contacts about any planning applications on this agenda must, unless reported to this meeting by the Strategic Lead for Planning, be declared before the application is considered.

4. **Minutes of Previous Meeting held on 25 June 2026** (Pages 3 - 6)

5. **Late Representations**

To be circulated at the meeting.

6. **Application PL/2026/0000534/FUL - 34 - 36 Earlsdon St** (Pages 7 - 24)

Report of the Strategic Lead for Planning

7. **Application PL/2026/0000017/FUL - The Auction House (Former Bell Inn), Station Avenue** (Pages 25 - 46)

Report of the Strategic Lead for Planning

8. **Application PL/2026/0000705/HHA - 2 Cannon Hill Road** (Pages 47 - 60)

Report of the Strategic Lead for Planning

9. **Outstanding Issues**

There are no outstanding issues.

10. **Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved**

Wednesday, 5 August 2026

Note: The person to contact about the agenda and documents for this meeting is Carolyn Sinclair / Tom Robinson carolyn.sinclair@coventry.gov.uk / tom.robinson@coventry.gov.uk

Membership: Councillors A Hopkins (Chair), A Tucker (Deputy Chair), S Akhter, J Blundell, M Fogden, S Gray, J Jones, D Stainton and J Wells

By invitation Councillor N Akhtar (Cabinet Member)

Carolyn Sinclair / Tom Robinson
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Coventry City Council
Minutes of the Meeting of Planning Committee held at 2.00 pm on Thursday, 25
June 2026

Present:

Members: Councillor A Hopkins (Chair)
Councillor S Akhter
Councillor J Blundell
Councillor M Fogden
Councillor S Gray
Councillor D Stainton
Councillor A Tucker
Councillor J Wells

Other Members: Councillors N Akhtar, Cabinet Member for Housing and Communities

Employees (by Service Area):

Highways and Transport N Benison

Law and Governance O Aremu, C Sinclair

Planning and Regulation A Lynch, R Penlington, K Russell, A Saleem, E Spandley, A Tew

Apologies: Councillor J Jones

Public Business

1. Declarations of Interest

Councillor A Tucker declared a pecuniary interest in the item referred to in Minute 6 (PL/2025/0002213/FUL - Cardinal Wiseman Catholic School Potters Green). He left the meeting during the Committee's consideration of the item.

2. Members Declarations of Contact on Planning Applications

The Members named declared a contact on the following application as indicated:

Application No.	Councillor	From
PL/2026/0000448/TPA - 74 Howes Lane	All Members of Committee	Applicant

3. Minutes of the Meeting held on 2 April 2026

The Minutes of the meeting held on 2 April 2026 were noted and accepted as a true record.

4. **Late Representations**

The Committee noted a tabled report which summarised late representations and responses on the following:

Application	Site	Minute
PL/2025/0002213/FUL	Cardinal Wiseman Catholic School, Potters Green Road	6
PL/2026/0000646/PAEC	Land at Blenheim Avenue Sports Ground, Holbrook Lane	7

5. **Application PL/2026/0000082/FUL - Hogs End Farmhouse, Hogs End Farm, 260A Hawkes Mill Lane**

The Committee considered a report of the Strategic Lead for Planning for the erection of detached dwelling with associated development (Plot 2 previously approved under reference OUT/2020/2762). The application was recommended for approval.

RESOLVED that planning permission be granted in respect of Application PL/2026/0000082/FUL subject to conditions.

6. **Application PL/2025/0002213/FUL - Cardinal Wiseman Catholic School Potters Green Road**

The Committee considered a report of the Strategic Lead for Planning for a new artificial grass pitch (AGP) with associated fencing, lighting, storage recesses, hard standing access and areas of soft landscaping. The application was recommended for approval.

The Late Representation report indicated that a further unsigned letter of objection had been received and that the objections raised had been addressed within the report.

Councillor E Ruane, a Henley Ward Councillor, had objected to the application and had sent a statement which was read out at the meeting. In addition, a registered speaker spoke in respect of their objections and a further registered speaker spoke in support of the application. The applicant responded in support of the application.

RESOLVED that planning permission be granted in respect of Application PL/2025/0002213/FUL, subject to conditions.

(Note: As Councillor A Tucker had declared an interest, he left the meeting for this item)

7. **Application PL/2026/0000646/PAEC - Sports Ground, Holbrook Lane**

The Committee considered a report of the Strategic Lead for Planning for Prior Approval for the installation of telecommunications base station comprising 20m monopole supporting 2 antennas, 300mm dishes with 7 equipment cabinets and

ancillary development thereto within compound fencing, which was recommended for approval.

The Late Representation document set out a correction to the report in respect of the distance of the nearest residential properties.

RESOLVED that Prior Approval be granted for Application PL/2026/0000646/PAEC in relation to the siting and design only, subject to conditions.

8. Application PL/2026/0000448/TPA - 74 Howes Lane

The Committee considered a report of the Strategic Lead for Planning seeking consent to fell one mature English Oak tree (T1) protected by the City of Coventry (Howes Lane No.1) Tree Preservation Order 1967. The application was recommended for refusal.

Councillor M Heaven, a Wainbody Ward Councillor, a registered speaker and the applicant attended the meeting and all spoke in support of the application.

RESOLVED that permission be refused for Application PL/2026/0000448TPA for the proposed works to a protected tree.

9. Outstanding Issues

There were no outstanding issues.

10. Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved

There were no other items of business.

(Meeting closed at 3.30 pm)

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Planning Committee Report	
Planning Ref:	PL/2026/0000534/FUL
Site:	34 - 36 Earlsdon Street, Coventry, CV5 6EJ
Ward:	Earlsdon
Proposal:	Erection of a two-storey commercial unit (456 sq. m GIA) for Use Class E (Commercial, Business and Service) purposes and associated works including canopy and chimney
Case Officer:	Richard Edgington

INTRODUCTION

The application seeks consent for the erection of a two-storey commercial unit within Use Class E which extends to 456 sq. m of gross internal floor space, with associated works. The application site has been subject to a number of previous planning applications and has also been subject to enforcement matters which have been well publicised in recent months.

At the present time, the site is subject to an enforcement notice which precludes works being undertaken, which is in response to the unlawful demolition which took place circa January 2025. Whilst it is understood that there are ongoing enforcement matters relating to the site, this application has been submitted to bring forward the site for a new purpose-built structure which will replace the former buildings. The previous planning permissions are considered to have been sterilised as a result of the removal of the buildings and as a result the site requires consent to be re-developed in its entirety.

The site lies within the centre of Earlsdon within the Conservation Area. Earlsdon Street is a defined Local Centre within both the adopted and emerging Local Plans and provides a range of shops, restaurants and commercial units. In recent years, works to a number of neighbouring properties have been undertaken, and at the time of writing the former Butcher's Shop which adjoins the application site is undergoing extensive renovation and extensions to the rear.

The application has been referred to planning committee owing to the number of objections which have been received in relation to the application.

RECOMMENDATION

Planning Committee are recommended to grant planning permission subject to conditions.

REASON FOR DECISION

The application is recommended for approval owing to the fact that the weight afforded to the creation of a new purpose-built commercial premises set within a local centre weighs heavily in favour of the development in accordance with Policy R3 of the adopted and emerging Local Plan. Together with the delivery of a new building, the development also brings forward a currently under-utilised and derelict site which can make a positive contribution to Earlsdon Street. Furthermore, when weighing the overall design as

amended during the course of the application the site is also deemed to make a positive contribution to the character and appearance of the area inclusive of the conservation area. The development is therefore deemed to accord with Policies DS3, DE1, HE1, HE2, R3 and R5 of the adopted and emerging Local Plan and National Planning Policy Framework (2024).

SITE DESCRIPTION

The application site relates to the former Natwest Bank which occupied both No's 34 and 36 Earlsdon Street. The site has been vacant for a period of time owing to the fact that in December 24/January 25 events within the site led to the structure ceasing to exist as a building., The first floor and roof has been removed although the ground floor front facing elevation and elements of the internal area and some structural form is retained to the rear. Following on from these events, an enforcement notice was issued to ensure that all works ceased and the site secured to protect public safety. Since this time, no other works have taken place . At the time of writing, the site remains vacant and derelict with previously installed scaffolding and hoarding having also been removed in part.

When operational as a bank, the building was clearly an amalgamation of two units, with No. 36 forming the one side of the property which maintained an eaves and ridge line with the former butcher's at No. 38 with remnants of the architectural detailing present, the side forming No. 34 sat slightly forward of the first-floor front elevation of No. 36 and incorporated an eaves and ridge which aligned with No. 32. The ground floor frontage appeared as a later addition and presented a regularised building line at ground floor level.

Despite remnants of the architectural detailing, there were late 20th century additions to the shopfront and first floor elevations in the form of PVC cladding and windows and dashed rendered walls and aluminium framed windows at ground floor which concealed or removed many of the features which would likely have been present on the original front elevation. Since the banks closure, the building has laid primarily vacant and has had boardings and a steel panel on the front elevation where the former ATM machine was located.

The rear of the site had also lost much of the original features and had been subject to ad-hoc extensions and structures, although a small area of enclosed outdoor space was retained and is understood to have been largely unused. Beyond the rear boundary lies residential dwellings which face Warwick Street and Moor Street and associated rear gardens, which sit higher than the application site. The dwellings are of a traditional style and maintain a relatively generous separation distance to the application site.

When considering site constraints, the site lies within the Earlsdon Conservation Area and is within the city-wide Air Quality Management Area, the site is also within the defined local centre of Earlsdon. Other than the fact the site lies within flood zone 1 there are no other overarching site constraints which are directly relevant to the determination of this application.

APPLICATION PROPOSAL

The application as proposed seeks consent for the creation of a two-storey commercial building which infills the site between No. 32 and No. 38 Earlsdon Street. The building seeks to adjoin properties on either side and carry forward the architectural detailing from No. 38 inclusive of the dentil brick courses, sill and lintel details whilst adopting a stepped eaves and ridge height at 6.5m and 9.4m, respectively.

To the rear the site seeks to significantly extend the former building, implementing the footprint which was obtained under application FUL/2022/1683 which was granted permission on appeal following a decision to refuse planning permission by the Local Planning Authority. The protrusion of the extension to the rear will extend 19.4m from what would have been the original rear outrigger of the building.

The proposals also make provisions for a small plant area to the rear of the site which sits behind a 1.1m high parapet wall, a new chimney is also proposed in this location.

RELEVANT PLANNING HISTORY

Application No.	Description of Development	Decision and Date
FUL/2017/0889	Elevational alterations to include remove existing NatWest brand signage, ATM and night safe. Infill existing ATM and Night Safe apertures with stainless steel blanking plate	Granted 31.05.2017
FUL/2022/0776	Construction of single-storey rear extension	Granted 30.05.2022
FUL/2022/1683	Ground and first floor rear extensions to existing commercial unit (Use Class E)	Refused 31.08.2022 <u>Allowed on Appeal</u>
<u>Appeal Summary</u> Appeal Ref: APP/U4610/W/22/3311446 Issued: 26th September 2023 Summary: The application was refused on the basis that the proposed extensions would be detrimental to the character and appearance of the area and also be detrimental to the amenity of neighbouring residents. The inspector identified that owing to the presence of other large rear projections along the terrace and the largely concealed nature from public vantage points that the development, subject to materials would not be deemed detrimental to an extent which would warrant refusal. The Inspector also did not identify any significant harm to the conservation area. The Inspector also identified that subject to design details the impact upon neighbouring residents would not be unacceptable. The appeal was therefore allowed and planning permission granted subject to conditions securing; the time limit, the approved plans, material details.		
S73/2022/0757	Removal of condition 2 (restricted use for banking purposes) pursuant of planning permission ref. S/1901/0427 (Cov. Ref. 23167/C) approved	Granted 31.05.2022

	21/07/1971 for conversion of existing shop premises to bank and extension at rear	
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POLICY

Legislation

Section 72 (Conservation Areas) – Planning (Listed Buildings and Conservation Areas) Act 1990

National Policy Guidance

National Planning Policy Framework (NPPF) December 2024.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2017, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS3: Sustainable Development Policy
 Policy H5: Managing Existing Housing Stock
 Policy R3: The Network of Centres
 Policy R5: Retail Frontages and Ground Floor Units in defined centres
 Policy R6: Restaurants, Bars and Hot Food Takeaways
 Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
 Policy DE1: Ensuring High Quality Design
 Policy HE1: Conservation Areas
 Policy HE2: Conservation and Heritage Assets
 Policy AC2: Road Network
 Policy AC3: Demand Management
 Policy AC4: Walking and Cycling
 Policy EM1: Planning for Climate Change Adaptation
 Policy EM2: Building Standards
 Policy EM4: Flood Risk Management
 Policy EM5: Sustainable Drainage Systems (SuDS)
 Policy EM6: Redevelopment of Previously Developed Land
 Policy EM7: Air Quality

Emerging Local Policy Guidance – Local Plan Review submitted to Planning Inspectorate for examination on 9th September 2025.

The Local Plan review is currently at Examination. Relevant emerging policy relating to this application is:

Policy DS3: Sustainable Development Policy
 Policy H5: Managing Existing Housing Stock
 Policy R3: The Network of Centres
 Policy R5: Retail Frontages and Ground Floor Units in defined centres

Policy R6: Restaurants, Bars and Hot Food Takeaways
Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
Policy DE1: Ensuring High Quality Design
Policy DE2: Delivering High Quality Places
Policy HE1: Conservation Areas
Policy HE2: Conservation and Heritage Assets
Policy HE4: Archaeology
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Walking and Cycling
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards
Policy EM4: Flood Risk Management
Policy EM5: Sustainable Drainage Systems (SuDS)
Policy EM6: Redevelopment of Previously Developed Land
Policy EM7: Air Quality
Policy EM15: Noise

Supplementary Planning Guidance/ Documents (SPG/SPD/DPD):

Air Quality SPD
Coventry Connected SPD

CONSULTATION

No objections received from:

- Archaeology
- Ecology

No objections subject to conditions/contributions have been received from:

- Environmental Protection: No objection subject to plant details and associated noise assessment.
- Conservation: No objection, subject to conditions.
- Highways: No objection, subject to cycle parking details to be secured via condition.

Objections have been received from:

- Coventry Society: Whilst general support is conveyed to the principle of a new shopfront, the design as proposed is objected to on the basis that the shopfront as submitted is not sensitive to the conservation area or is of a standard which exhibits a high-quality design and materiality which would enable the proposal to make a positive contribution to the conservation area.

Neighbour consultation

Immediate neighbours and local councillors have been notified; a site notice was posted on 14th May 2026. A press notice was displayed in the Coventry Telegraph on 21st May 2026.

10 letters of objection have been received, raising the following material planning considerations:

- a) Use will be detrimental to character and appearance of the area/conservation area
- b) Inappropriate design of the front façade
- c) Lack of parking provision
- d) Plans do not accurately show setback between building elevations (as formerly sited)
- e) Increase in pollution
- f) Vacancy period of building inaccurate within submission

Within the letters received the following non-material planning considerations were raised, these cannot be given due consideration in the planning process:

- g) Building should be re-instated as previously sited

With regards to these representations, all were received from addresses within Earlsdon Ward.

Any further comments received will be reported within late representations.

APPRAISAL

The issues in determining this application are principle of development, the impact upon the character of the area and heritage assets, the impact upon neighbouring amenity, highway considerations, drainage and ecology. The relevant policy text for each issue is included in the Policy Appendix at the end of the report.

Principle of Development

The application as submitted seeks consent for the erection of a new purpose built two storey commercial building for use within Use Class E defined as Commercial, Business and Service uses inclusive of shops, restaurants, offices etc, which seeks to replicate the previously approved footprint granted on appeal under planning application FUL/2022/1683. Paragraph 90 of the National Planning Policy Framework supports the delivery and expansion of commercial premises within designated areas, i.e. town and local centres. In this case the application seeks to bring forward a development which re-uses a vacant site which is currently in an unusable condition. The site represents a notable size relative to the identified Earlsdon Local Centre and has a primary location and frontage within the main high street. Within the representations, objections have been received owing to the period of vacancy and lack of use on the site.

When considering the principle of development, the re-use of the site as a commercial premises is consistent with the most recent uses and changes to the use class order. Adopted and emerging Policy R3 seeks to support the vitality of town and local centres and allows for the delivery of new appropriately sized commercial premises to support the local economy.

In this case the size of the unit will extend to 456 sq. m which is akin to the previously granted permissions on site. The development is considered likely to make a positive contribution to the local centre and will support the expansion of commercial activity within the designated centre. The principle is therefore deemed acceptable and is established under the previous uses in any case. The relevant material planning considerations are set out in the succeeding sections of this report.

Impact on Character and Appearance of the Area/Heritage Assets

Paragraph 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities to pay special regard to conservation areas, which are defined as heritage assets in the determination of planning applications. The Council is required to ensure that any identified harm associated with development is outweighed by public benefits. Adopted and emerging Policies HE1 and HE2 are consistent with Paragraph 72 in this regard.

Within the consultation, objections have been received from the Coventry Society and residents as to the design of the proposed building, particularly with regards the frontage and the impact the development would have on the conservation area. Representations have also been received suggesting that the original building should be re-built. Taking a balanced approach, it is deemed that whilst the entire removal of the building is regrettable, the proposed development seeks to replace the building with a purpose-built structure of a similar design and layout from the original building. As originally submitted it is acknowledged that the design of the frontage lacked the level of detail which the Council considers is required within a prominent site within the conservation area.

In the spirit of paragraph 38 of the National Planning Policy Framework (2024) the Council has engaged with the applicants to secure a series of amendments to the plans to ensure that the design of a quality which is acceptable, and will overall enhance the character and appearance of the conservation area.

As set out within the site description, when in use as a bank the site comprised of two units, No's 32 and 34 Earlsdon Street. The former units had similar architectural features to the adjoining neighbours (No's 38 and 32), which resulted in the first floor elevation of the bank having a slight stagger in the building line which was largely concealed with the shop front which spanned across the two units at ground floor level. No. 36 contained dentilled brickwork features and corbelling at eaves height. It appears that when the buildings were amalgamated to one-unit external changes were undertaken to create the shopfront at ground floor and also incorporate PVC cladding to the first floor. The materials used were of a low quality and appeared to diminish the visual appearance of the traditional buildings.

Considering the wider character, it is acknowledged that other retail units within Earlsdon Street have evolved over time and there are varying architectural styles. The aims of the Conservation Area Management Plan identifies that traditional frontages will be retained where possible. The aforementioned amended plans do seek to incorporate additional detailing in the form of corbelling at first floor level, the continuation of the dentilled brickwork at eaves and ivory coloured stone sills and lintels. These finer details, together with a refined shop front design which replicates the windows from No's 38-46 at first floor level with pilaster framed shop front details, and a proportionate signage area above both windows, either side of the central door feature, are cumulatively considered to represent an improvement of the aesthetic of the shop front and thereby contribute to the wider character and appearance of the conservation area.

Due consideration has also been given to the design and layout of the rear of the site. It is acknowledged that the ground and first floor extensions are extensive but are in line with other approved schemes along the terrace and broadly align with the previously refused application for the first-floor extension which was granted on appeal by the

Inspector. As noted within the site history, the Inspector in making the decision on that application raised no substantial level of harm to warrant refusal of the application. The current application seeks to incorporate a lower ridge on the rear projection extending to 13m before stepping down to a parapet wall with a glass roof feature on the rear of the first floor projecting a further 5.75m. Within this area it is deemed likely that any plant could reasonably be located were this required, subject to the relevant specification and noise details, which would also be directly adjacent to the proposed rear chimney. Considering the overall design, whilst bulky to the rear in isolation, when considering the staggered building line and wider pattern of development, together with the weight afforded to the Inspector's decision the application is deemed acceptable with regards scale and footprint.

Concerns raised within the consultation period also related to the quality of the materials being proposed within the plans, which were deemed to be of low quality. These have now been amended and will be secured by condition to require full details of all materials to be submitted to and approved in writing by the Local Planning Authority. It would be required that sample materials be provided on site and would be considered by officers ahead of their incorporation into the scheme. This again was the approach taken to recent developments at both No's 38 and 44 Earlsdon Street. With these details secured the application is deemed acceptable in this respect.

Neighbouring Amenity

Policy DE1 of the adopted and emerging Local Plan seek to ensure that development proposals do not have a detrimental impact upon the amenity of neighbouring occupiers or indeed future occupiers of the site. Paragraph 135 of the National Planning Policy Framework 2024 re-affirms this requirement, as does Policy EM15 of the emerging Local Plan which relates to noise related matters.

The application as proposed will result in an intensification of the site overall, specifically with regards the floor space of the commercial premises which is to occupy the unit once completed. Given the flexibility of uses within Use Class E due regard has been given to potential uses within the class. It is deemed that there is a potential for plant equipment to be required, but Environmental Protection raise no objections to the application subject to a condition being appended to the decision to require details of any plant should this be required at a later stage. This has been appended, although it should be noted that should any other rooftop or other plant which falls out of the scope of this application be required then that could require planning permission in its own right. An informative on the decision notice should planning permission be granted will advise the applicants of this requirement.

In principle however, the site is set away from residential properties, and whilst in close proximity to the dwellings to the rear within Warwick Street and private gardens within Moor Street, no side or rear facing windows are proposed to be installed which would result in overlooking or would be openable to result in noise spilling out of any open windows.

Concern has also been raised by residents in respect of air quality during the consultation process. It is not considered that the site or proposed use would give rise to additional air quality/pollution concerns that would go beyond the existing site/lawful use had the previous applications been implemented. The inspector also raised no concerns in this

regard. As indicated any plant which is to be provided by condition would be required to demonstrate compliance with the relevant British Standards and adopted policies.

Highways

Policy AC2 seeks to ensure that development proposals do not have a detrimental impact upon the highway network, and where any harm is identified mitigation may be required as part of any planning consent in the form of conditions or contributions. Policy AC3 sets out that development proposals should accord with the maximum parking standards set out within Appendix 5 of the Coventry Connected SPD.

In this case the site lies within the highly sustainable location of central Earlsdon within the defined centre. Within the vicinity there are noted to be parking restrictions on street, albeit with some short stay on-street provision and a car park accessed off Warwick Street to the rear of the site. As a designated local centre, much of the visitation to the local centre seeks to serve local need. Within Earlsdon there is a relatively high-density pattern of development and the local centre is in walking distance of a large number of properties and also lies on established bus route.

Weight is afforded to the fact that there is no existing parking within the site, nor is there a capability for this to be provided. Previously within applications no concerns have been raised with regards parking provision. Whilst it is noted concerns have been raised within the consultation period as to the absence of parking provision, it is not considered necessary or reasonable for parking to be provided given the standards would be being applied retrospectively. In any case, there is an aim to achieve a modal shift to reduce car reliance, indeed the creation of another retail/commercial unit within the centre is deemed likely to enhance and serve the local area and is not therefore deemed to give rise to highway issues. The Local Highway Authority have duly been consulted on the application and raise no objections, subject to cycle storage details being provided. The site is capable of providing a form of storage to the rear as was the case previously, and with the approved consent for No. 38, this therefore has duly been appended to the recommendation as a condition. No further details are required in this respect.

Ecology

Policy GE3 of the adopted Local Plan requires development proposals to provide a net gain of biodiversity where required, the Environment Act 2021 identifies developments where biodiversity net gain is required and also sets out the exemptions which are elaborated upon within the Planning Practice Guidance. In this case the site falls below the threshold to require an uplift of 10% net gain due to the fact that there is not an area of 25 sq. m of habitat that is being impacted by the development. Ecology therefore raise no objections to the proposed development and no further details are therefore required.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;

- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon neighbour amenity, highway safety, ecology or infrastructure, subject to relevant conditions. The revised proposals are now considered to result in an acceptable building in keeping with the Conservation Area. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DS3, R3, R5, DE1, HE1 and HE2 of the Coventry Local Plan 2017 and the emerging Local Plan Policies DS3, R3, R5, DE1, DE2, HE1, HE2 and EM15 together with the aims of the NPPF.

POLICY APPENDIX

National Planning Policy Framework (NPPF) December 2024.

Coventry Local Plan 2017 & Emerging Local Policy

Supplementary Planning Guidance/ Documents (SPG/ SPD):

- Coventry Connected
- New Shopfront Guidance SPD

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

Principle of development

The NPPF 2024, paragraph 11, states that "Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective

use of land, securing well-designed places and providing affordable homes, individually or in combination.

Paragraph 90 of the NPPF states that Planning policies and decisions should support the role that town centres play at the heart of local communities, by taking a positive approach to their growth, management and adaptation. Planning policies should:

- a) define a network and hierarchy of town centres and promote their long-term vitality and viability – by allowing them to grow and diversify in a way that can respond to rapid changes in the retail and leisure industries, allows a suitable mix of uses (including housing) and reflects their distinctive characters;
- b) define the extent of town centres and primary shopping areas, and make clear the range of uses permitted in such locations, as part of a positive strategy for the future of each centre;
- c) retain and enhance existing markets and, where appropriate, re-introduce or create new ones;
- d) allocate a range of suitable sites in town centres to meet the scale and type of development likely to be needed, looking at least ten years ahead. Meeting anticipated needs for retail, leisure, office and other main town centre uses over this period should not be compromised by limited site availability, so town centre boundaries should be kept under review where necessary;
- e) where suitable and viable town centre sites are not available for main town centre uses, allocate appropriate edge of centre sites that are well connected to the town centre. If sufficient edge of centre sites cannot be identified, policies should explain how identified needs can be met in other accessible locations that are well connected to the town centre; and
- f) recognise that residential development often plays an important role in ensuring the vitality of centres and encourage residential development on appropriate sites.

Impact on visual amenity/character and appearance of the conservation area

Policy DE1 of the Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

Policy HE2 requires applications to have special regard for conservation and heritage assets in accordance with sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, parts 1-4 of HE2 sets out that;

1. In order to help sustain the historic character, sense of place, environmental quality and local distinctiveness of Coventry, development proposals will be supported where they conserve and, where appropriate, enhance those aspects of the historic environment which are recognised as being of special historic, archaeological, architectural, artistic, landscape or townscape significance. These Heritage Assets include:

- a. Listed Buildings and Locally Listed buildings;
- b. Conservation Areas;
- c. Scheduled Ancient Monuments and Archaeological sites;
- d. Registered Parks and Gardens; and
- e. Other places, spaces, structures and features which may not be formally designated but are recognised as significant elements of Coventry's heritage and are positively identified on the Coventry Historic Environment Record.

2. Proposals likely to affect the significance of a heritage asset or its setting should demonstrate an understanding of such significance using currently available evidence.
3. Development proposals involving heritage assets in general and listed buildings in particular, should acknowledge the significance of the existing building and the area by means of their siting, massing, form, scale, materials and detail.
4. The sympathetic and creative re-use of heritage assets will be encouraged, especially for heritage that is considered to be at risk, so long as it is not damaging to the significance of the heritage asset. The embodied energy present in historic buildings contributes to sustainability

Paragraph 131 of the NPPF states the creation of high-quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

The National Planning Policy Framework, paragraph 135 states that “Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The NPPF further states (at paragraph 139) “Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”.

Highway considerations

Policy AC1 ‘Accessible Transport Network’ states that development proposals which are expected to generate additional trips on the transport network should: a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes. b) Consider the transport and accessibility needs of everyone living, working or visiting the city. c) Support the delivery

of new and improved high quality local transport networks which are closely integrated into the built form. d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure.

Policy AC3 of the Local Plan acknowledges that the provision of car parking can influence occurrences of inappropriate on-street parking which can block access routes for emergency, refuse and delivery vehicles, block footways preventing access for pedestrians, reduce visibility at junctions and impact negatively on the street scene. Proposals for the provision of car parking associated with new development will be assessed on the basis of parking standards set out in Appendix 5. The car parking standards also include requirements for the provision of electric car charging and cycle parking infrastructure.

Parking provision should accord with the maximum standard expressed in Appendix 5 unless it has been clearly demonstrated that the site is in a highly accessible location where transport, by means other than the private car is a realistic alternative. In that respect lower levels of provision may be considered acceptable where the site is in close proximity to the City Centre, a train station, a high-quality rapid transport route or other public transport interchange and where there is a package of measures (proportionate to the scale of development) to enable sustainable means of transport. Any variation from the maximum standard must be fully justified by proportionate evidence.

Air quality

Policy EM7 states that major development schemes should promote a shift to the use of sustainable low emission transport to minimise the impact of vehicle emissions on air quality.

Ecology

Policy GE3 states that Sites of Specific Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced.

CONDITIONS/REASONS

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>

2.	The development hereby permitted shall be carried out in strict accordance with the following approved plans: Existing and Proposed Elevations (Planning). Drawing: 4111-501. Revision E. Received 23rd July 2026
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	Existing and Proposed Floor Plans, Block Plan and Site Location Plan. Drawing: 4111-500. Revision A. Dated February 2026
Reason	<i>For the avoidance of doubt and in the interests of proper planning</i>

3.	No development or other operations (including demolition, site clearance or other preparatory works) shall commence unless and until a method statement/schedule of works for the sorting, cleaning, storage and re-use of all existing facing materials on-site has been submitted to and approved in writing by the Local Planning Authority, together with details of where these salvaged materials are to be incorporated into the front elevation/roof slope of the development. The front elevation/roof slope shall be constructed in strict accordance with the approved details and thereafter shall not be altered in any way
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the Conservation Area and the locality in general in accordance with Policies DE1, HE1 and HE2 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>

4.	No development or other operations (including demolition, site clearance or other preparatory works) shall commence unless and until details of the facing materials to be used in the construction of the elevations and the roof of the building hereby permitted have been submitted to and approved in writing by the Local Planning Authority. The details submitted shall specifically detail; -window / door frame colour and materials; -glazing details; -brick and mortar details; -details of any decorative brickwork / string courses; -roofing materials including details of the ridge and any valleys to be formed - eaves, fascia, soffit and verge details and materials; -details of any rainwater goods; and -details of any vents/grilles The development hereby permitted shall only be undertaken in strict accordance with these details, which thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the Conservation Area and the locality in general in accordance with Policies DE1, HE1 and HE2 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>

5.	Prior to occupation of the development hereby permitted, details of cycle parking facilities shall be submitted to and approved in writing by the Local Planning Authority. The cycle parking facilities shall be provided in full accordance with the approved details prior to first occupation of the building and thereafter those facilities shall remain available for use at all times and shall not be removed or altered in any way.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2017 and the emerging Local Plan.</i>

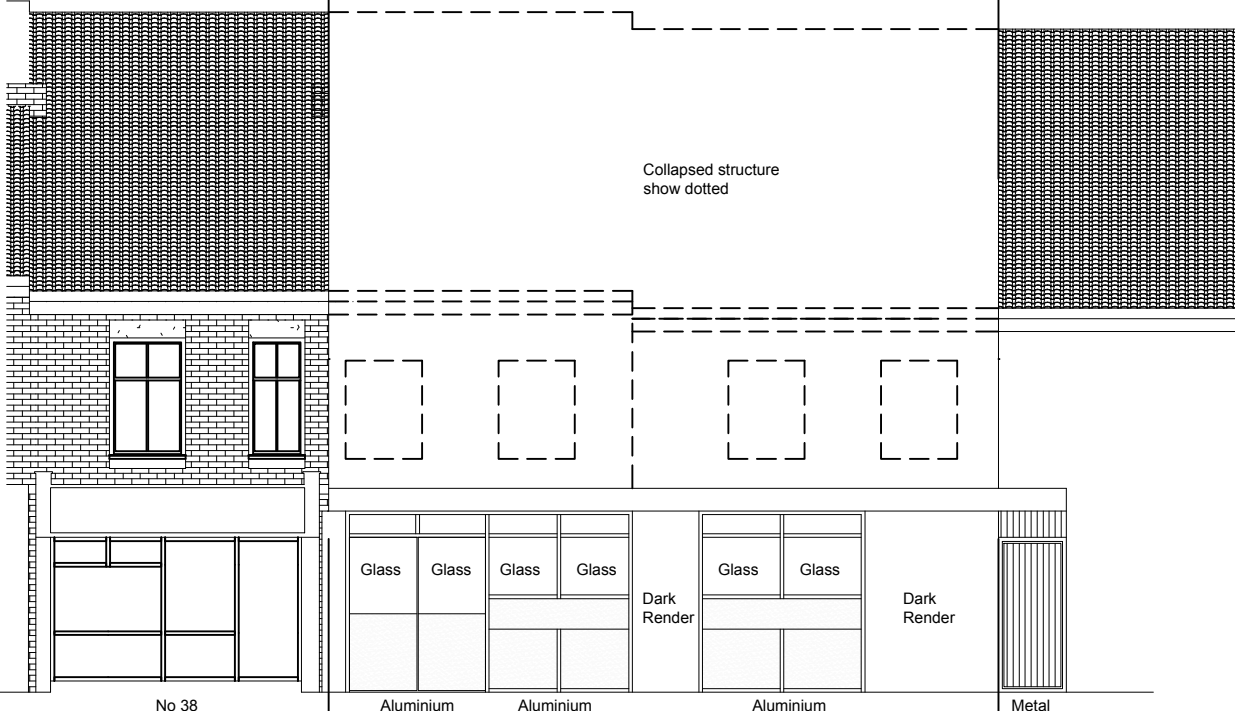
6.	Prior to their incorporation into the development, details of any plant, fume extraction and/or odour control equipment (including external ducting flues) if proposed shall be submitted to and approved in writing by the Local Planning Authority. The details shall be supported by a noise and odour assessment which shall include results for LAeq, LA10, and LA90 noise descriptors, together with a calculated arithmetical average for the LAeq. The assessment will demonstrate by calculation that internal noise levels for the proposed residential property meet the 'Good' criteria set out in British Standard 8233 'Sound Insulation and Noise Reduction for Buildings' together with any mitigation measures that are required to achieve this. The report shall also demonstrate that the nearest sensitive receptors meet the 55dB limit as required by the World Health Organisation (WHO). Prior to the first use of the plant any necessary mitigation measures shall have been implemented in full accordance with the recommendations of the noise assessment and thereafter shall not be removed or altered in any way. Any external ducting shall be colour coated in full accordance with the approved details within one month of its installation.
Reason	<i>To safeguard the amenities of the adjoining occupiers of the development in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>

7.	Prior to the first occupation of the development hereby permitted, details of bin storage areas shall be submitted to and approved in writing by the Local Planning Authority. The bin storage areas shall be provided in full accordance with the approved details prior to first occupation of the development and thereafter they shall remain available for use at all times and shall not be removed or altered in any way. All bins which serve the development within the red line site area must be stored within the approved bin storage area and not positioned on the public highway or in the open, unless on bin collection days.
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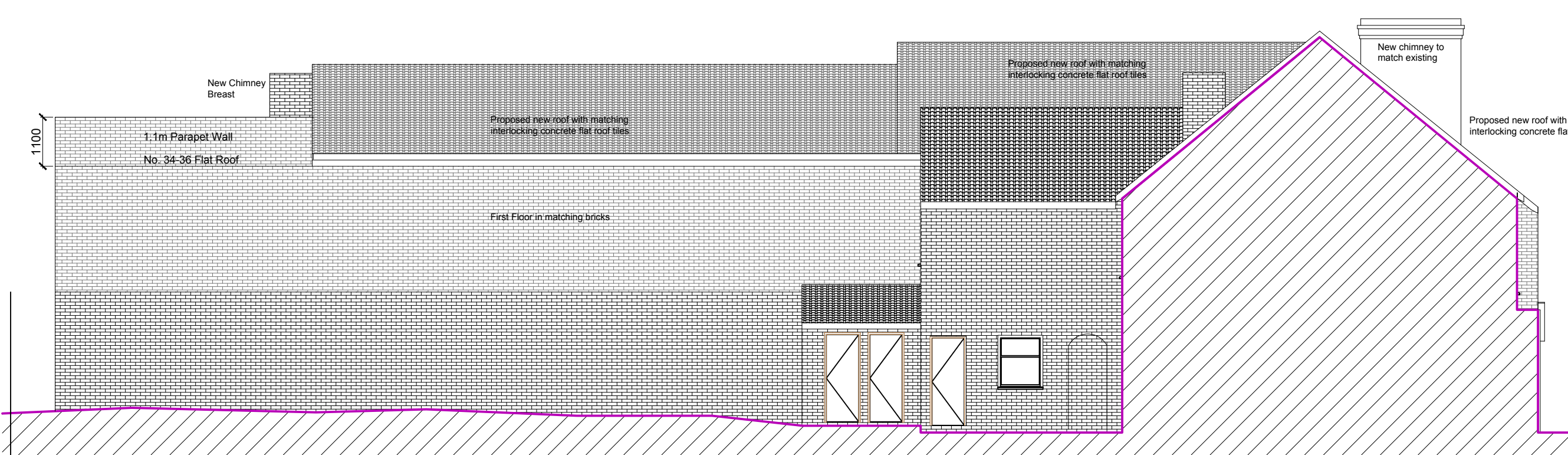
Reason	<i>In the interests of the amenities of neighbouring occupiers in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
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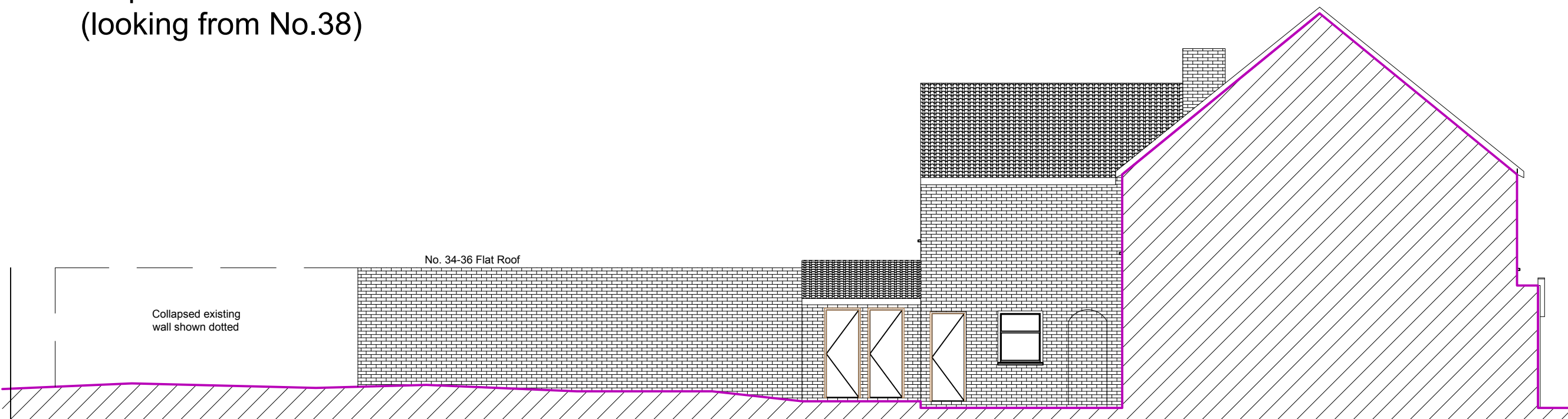
Proposed Front Elevation



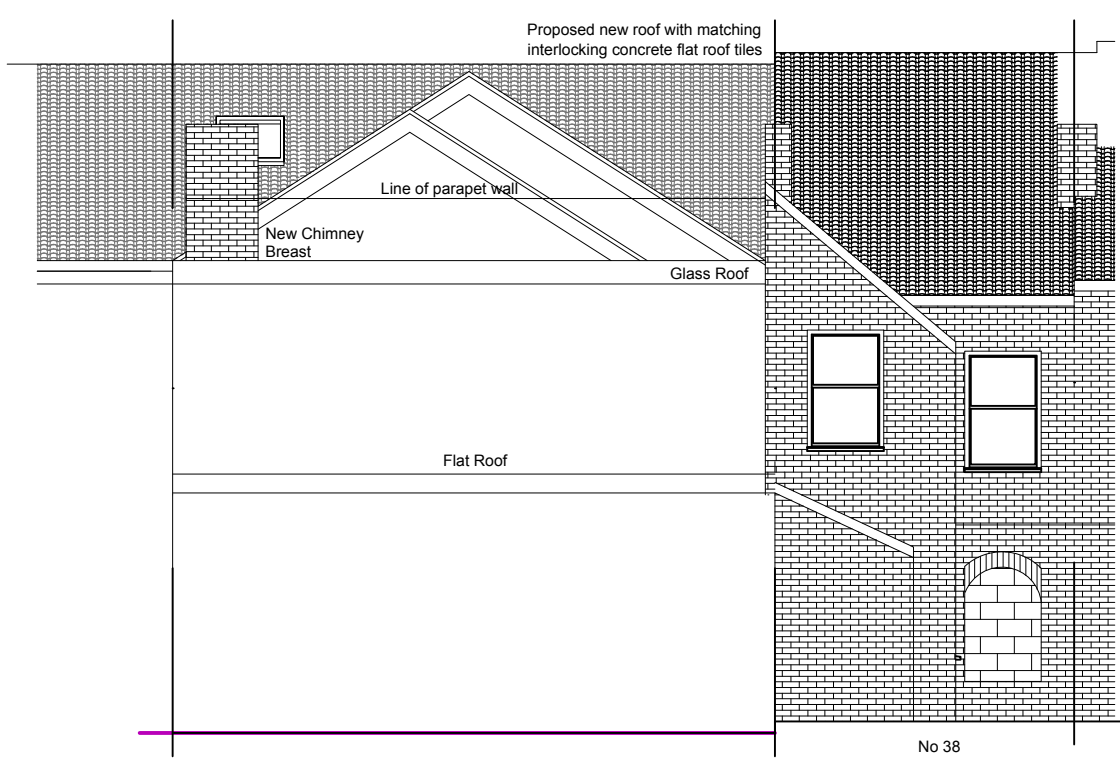
Existing Front Elevation



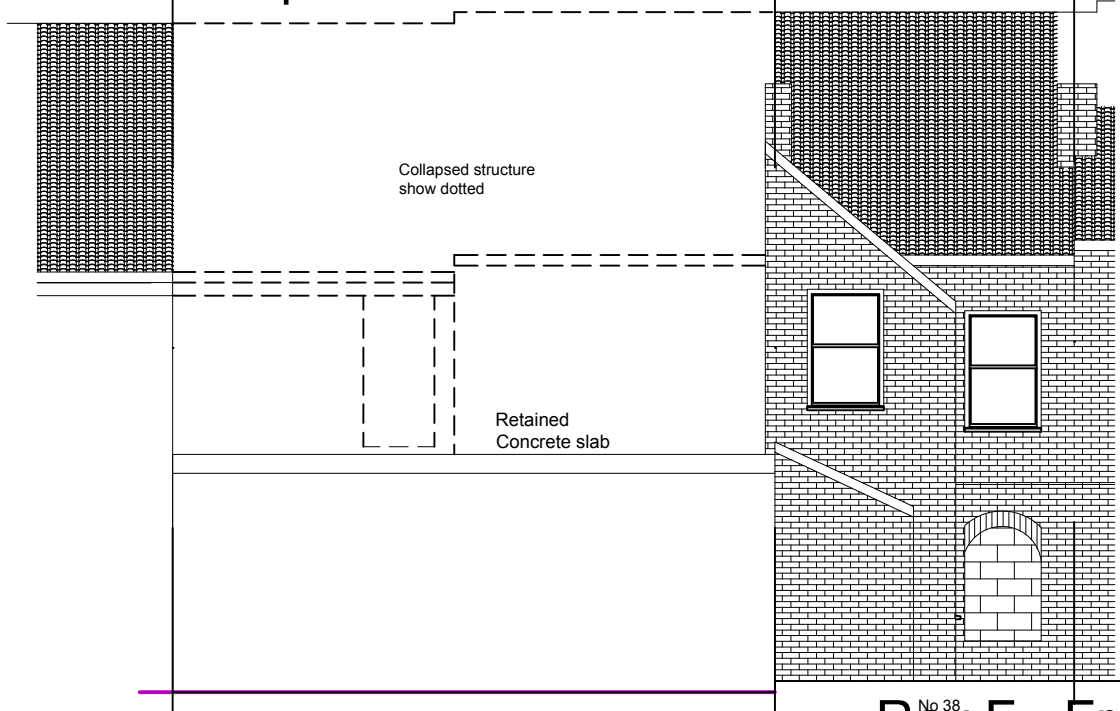
Proposed Side Elevation
(looking from No.38)



Existing Side Elevation (looking from No.38)



Proposed Rear Elevation



Existing Rear Elevation

Rev F - Front Elevation updated in line with case officer's request.
Rev E - Front Elevation updated in line with case officer's request.
Rev D - Front Elevation updated in line with case officer's request and materials added.
Rev C - Chimney Breast added as discussed in the meeting
Rev B - Floor Plans & Elevations updated to suit comments
Rev A - Collapsed structure identified on the existing plans-elevations

Note:
-All Dimensions are in millimeters and are approximate.

DESIGNFORMULA
07814262723

Project Title: 34-36 Earlsdon Street
Coventry

Details: Erection of collapsed walls & First Floor Rear Extension Including Front Facade and Main Roof

Drawing: Existing & Proposed Elevations PLANNING

Scale: 1:100 & as noted @ A1	Date: Feb 2026	Drg No: 4111-501Rev F
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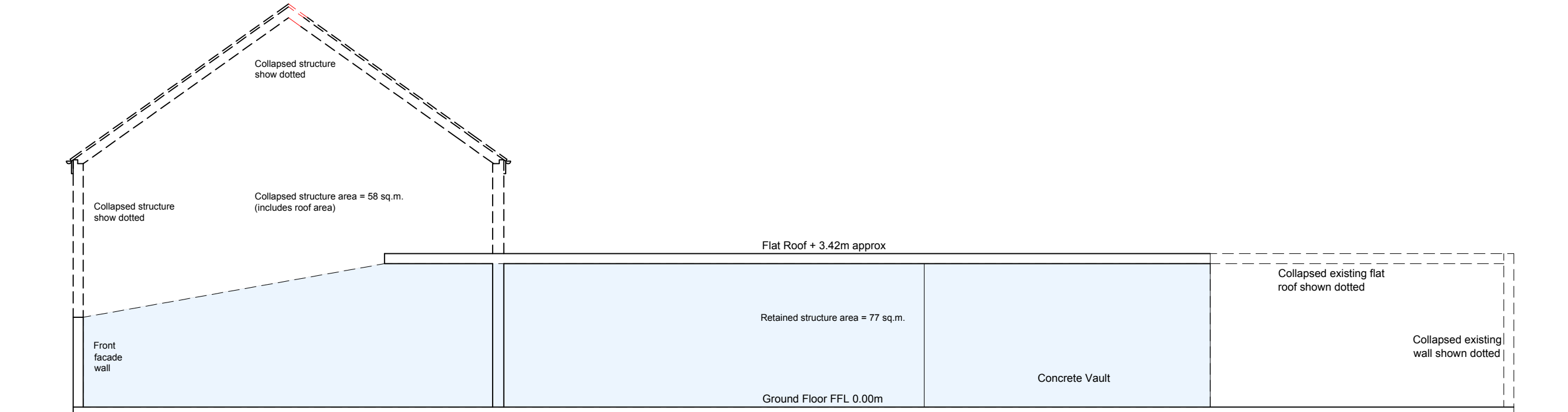
Proposed Bricks - Whole Development
Existing bricks to be reused where possible and new bricks to match existing



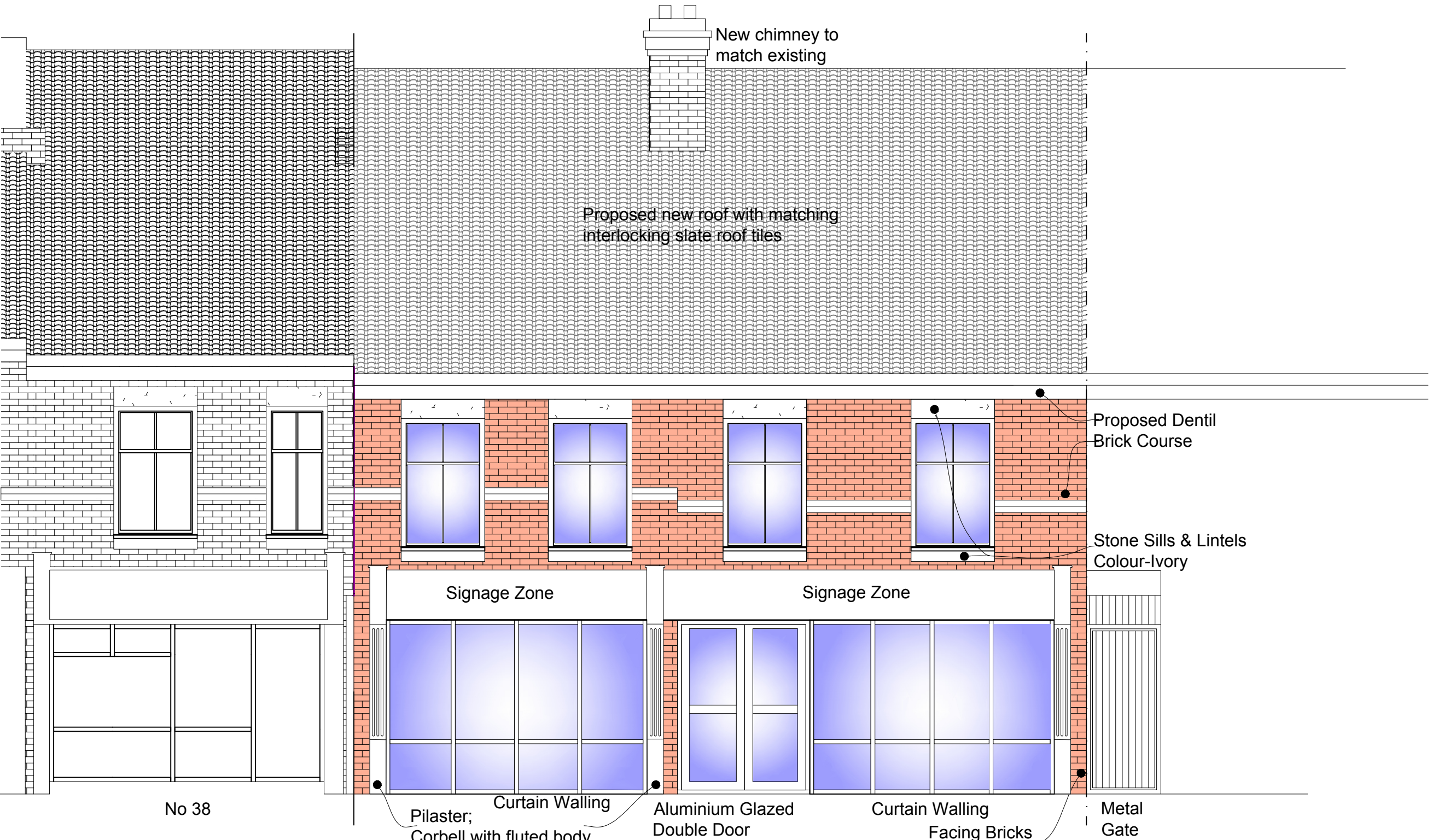
Roof Tiles
Cembit Jutland Fibre
Cement Slate Graphite
600x300mm



Proposed Dentil Brick Course at eaves level & above sill level as existing photo from 38 Earlsdon St. Also shows the Corbell detail.



Existing Long Section



Proposed Front Elevation
Scale - 1:50

1:5 = 25cm	1:200 = 10m
1:10 = 50cm	1:250 = 12.5m
1:20 = 100cm	1:500 = 25m
1:50 = 2.5m	1:1250 = 62.5m
1:100 = 5m	1:2500 = 125m

Note:
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All Dimensions are in millimeters and are approximate.

Planning Committee Report	
Planning Ref:	PL/2026/0000017/FUL
Site:	The Auction House (Former Bell Inn), Station Avenue, Coventry, CV4 9HS
Ward:	Tile Hill & Canley
Proposal:	Erection of two three-bed dwellings (Use Class C3) on land adjacent to the public house, new access off Station Avenue, with associated parking and landscaping, including reconfiguration of public house car park with a new vehicular access.
Case Officer:	Richard Edgington

INTRODUCTION

The application is a re-submission of a previous application (ref. PL/2025/0001258/FUL), which was refused. It seeks to obtain consent for the erection of two residential dwellings and associated access and parking area, with a re-configured car park and access point to serve the public house. Planning permission was previously refused in August 2025 due to highways and design issues identified within the application. This application seeks to address the previous reasons for refusal by amending the layout and re-siting the access point. Since the submission of the application a road safety audit has been provided, and highways are now satisfied that the highway elements are acceptable. Amendments were also made to the layout which are considered to address the previously identified design issues.

The application is now recommended for approval and has been referred to planning committee due to more than five objections having been received.

RECOMMENDATION

Planning Committee are recommended to grant planning permission subject to conditions.

REASON FOR DECISION

The application is being recommended for approval as the proposed development is deemed acceptable in principle and relevant considerations including; highways, design, layout, amenity and drainage are deemed acceptable and in accordance with relevant sections of the adopted and emerging local plans together with the principles of the National Planning Policy Framework (2024).

SITE DESCRIPTION

The application site relates to the Auction House Public House, formerly known as the Bell Inn, located off Station Avenue to the west of the city centre. The site lies within the Station Avenue Local Centre as identified on the adopted Local Plan's policy maps. The building is locally listed and has a longstanding use as a public house. There is a seating area to the frontage, further external seating areas to the rear, and to the southern part of the site lies the associated car park which is enforced/managed by a third party.

Beyond the site to the south lies a pharmacy with four further small commercial/service units beyond. Along the eastern boundary of the site lies a thin band of established landscaping softening the expanse of the car park from Station Avenue, the landscaping contains both trees and hedges which form part of the wider character of the area.

The car park itself is laid to tarmac, and the area to the north of the car park (in the location of the proposed public house access) contains permanently sited concrete bollards precluding cars parking or entering the site in this location. The entrance to the car park itself is near to the south of the site. Outside of the site, the western side of Station Avenue does not have parking restrictions and as observed by the case officer is frequently used as parking provision for surrounding uses which rely on a part on/off kerb arrangement. In front of the public house to the north 10m from the bollards lies a marked-out bus stop with shelter.

To the west of the site (behind the public house building when viewed from Station Avenue), lies a former area of car parking associated with the pub which was removed in around 2019/20 to implement planning permission FUL/2018/1812 which provided a pair of semi-detached dwellings to the rear of the pub with access/frontages off Conway Avenue. When considering wider site constraints, as noted above the public house is locally listed, and the entirety of the site is within the designated local centre. It should be noted the site lies within an Air Quality Management Area (which is city wide) and lies entirely within flood zone 1. No other site constraints are relevant in the determination of this application.

APPLICATION PROPOSAL

The application as proposed seeks consent for the erection a pair of two storey dwellings, each providing a three-bedroom dwelling house unit with associated parking area, amenity space and landscaping. The dwellings will be mirrored with each elevation matching with the same layout internally providing 96 sq. m of internal floor space; plot 1 will have an amenity space area of 64 sq. m with plot 2 providing 85 sq. m. The dwellings are proposed to be finished in a part brick, part render finish and will have a ridge height of 8m.

To facilitate the development a proposed new access is sought for the retained public house car park which also forms part of this application. The application is a re-submission of application PL/2025/0001258/FUL which was refused for the following reasons;

1) The contrived layout of the proposed access for the public house fails to consider the needs of vehicle movements entering and leaving the site or take into account surrounding factors inclusive of the; presence of the bus stop, landscaping, on-street parking, and use of the 180-degree turning point by domestic and commercial vehicles. The resulting access proposal is deemed to be detrimental to the safety of highway users and exhibits a poor-quality design which would have wider implications upon the surrounding area, contrary to Policies AC1, AC2, AC3 and DE1 of the adopted Coventry Local Plan 2017 and emerging Local Plan.

2) By virtue of the inappropriate siting of the dwellings in relation to the wider site/street scene, the development fails to adequately respond to the physical context of the site

and pays little regard to the wider built form and street scene which would be negatively impacted through the addition of the dwellings in a relatively isolated position within the site, failing to enhance the surrounding environment, contrary to Policy DE1 of the adopted Coventry Local Plan 2017, emerging Local Plan and Paragraph 135 of the National Planning Policy Framework (2024).

RELEVANT PLANNING HISTORY

The most relevant/recent applications are set out as follows:

Application Number	Description of Development	Decision and Date
PL/2025/0001258/FUL	Erection of two three-bed dwellings on land adjacent to the public house, utilising existing access off Station Avenue, with associated parking and landscaping, including reconfiguration of public house car park with a new vehicular access	Refused 20 th August 2025
FUL/2022/2593	Erection of a community noticeboard	Granted 20 th March 2023
FUL/2018/1812	Erection of two dwellings with associated access and parking	Granted 21 st August 2018
FUL/2018/0134	Erection of two dwellings and creation of new access	Refused 29 th March 2018

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) December 2024.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2017, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

- Policy AC1: Accessible Transport Network
- Policy AC2: Road Network
- Policy AC3: Demand Management
- Policy AC4: Walking and Cycling
- Policy H1: Housing Land Requirements
- Policy H3: Provision of New Housing
- Policy H5: Managing Existing Housing Stock
- Policy DE1: Ensuring High Quality Design
- Policy EM1: Planning for Climate Change Adaptation
- Policy EM2: Building Standards

- Policy EM4: Flood Risk Management
- Policy EM5: Sustainable Drainage Systems (SuDS)
- Policy GE1: Green Infrastructure
- Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
- Policy GE4: Tree Protection
- Policy HE2: Conservation and Heritage Assets
- Policy R3: The Network of Centres

Emerging Local Policy Guidance – Local Plan Review submitted to Planning Inspectorate for examination on 9th September 2025.

The Local Plan review is currently at Examination. Relevant emerging policy relating to this application is:

- Policy AC1: Accessible Transport Network
- Policy AC2: Road Network
- Policy AC3: Demand Management
- Policy AC4: Walking and Cycling
- Policy H1: Housing Land Requirements
- Policy H3: Provision of New Housing
- Policy H5: Managing Existing Housing Stock
- Policy DE1: Ensuring High Quality Design
- Policy DE2: Delivering High Quality Places
- Policy EM1: Planning for Climate Change Adaptation
- Policy EM2: Building Standards
- Policy EM4: Flood Risk Management
- Policy EM5: Sustainable Drainage Systems (SuDS)
- Policy GE1: Green Infrastructure
- Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
- Policy GE4: Tree Protection
- Policy HE2: Conservation and Heritage Assets
- Policy R3: The Network of Centres

Supplementary Planning Guidance/ Documents (SPG/SPD/DPD):

- Air Quality SPD
- Coventry Connected SPD
- New Residential Development Design Guide SPD
- Biodiversity Net Gain SPD
- Householder Design Guide SPD

CONSULTATION

Conservation: No comments received.

Ecology: No objection, subject to conditions.

Environmental Protection: No objection, subject to conditions.

Highways: No objection, subject to conditions.

Lead Local Flood Authority: Objection, whilst no objections are raised in principle further information in respect of a detailed drainage design are required.

Neighbour Consultation

Immediate neighbours and local councillors have been notified; a site notice was posted on 26th January 2026.

7 letters of objection have been received, raising the following material planning considerations:

- a) Exacerbate existing parking issues
- b) Detrimental impact upon surrounding highway network
- c) Resident permit schemes required in area
- d) No mention of the building being locally listed
- e) Loss of privacy and resultant overlooking
- f) Out of character with area

With regards to these representations, *all* were received from addresses within *1km* of the application site.

Any further comments received will be reported within late representations.

APPRAISAL

The issues in determining this application are principle of development, the impact upon the character of the area, the impact upon neighbouring amenity/noise, highway considerations, drainage and ecology/landscaping. The relevant policy text for each issue is included in the Policy Appendix at the end of the report.

Principle of Development

Policy H3 is the principle policy for new dwellings within the city, H3 sets out that new dwellings must provide for a high-quality residential environment with sufficient access and amenity space. Development proposals should also be located conveniently for amenities including; medical services, city/district centre, school, recreational facilities, a bus stop and green space. In this instance the application site lies within an established residential area which is well served by established local facilities.

It is also noted that the site lies within the designated centre of Station Avenue as identified in the adopted Local Plan. The local centre provides a number of stores and conveniences including a small supermarket, cafe's, petrol station, pharmacy, hairdressers etc and the Auction House Public House (formerly the Bell Inn). Given the siting within the local centre, regard is also given to Policy R3, Part 2 (c) of which states that within local centres a residential element will be promoted and encouraged, subject to the creation of a satisfactory residential environment and so long as it does not undermine the functionality of the centre. In this case, Station Avenue is one of the smaller centres within the city, but benefits from having a high occupancy rate among retail premises/uses. There are examples of first floor and even two storey residential units within the local centre, and the eastern side of Station Avenue contains a number of residential dwellings, which extends to the south on both sides of the road, thereby

being residential in nature. It is therefore considered that residential development is acceptable in principle when affording weight to the delivery of homes, and promoting the efficient use of land, the proposal would also not impact the vitality of any of the retail units within the centre.

No other overarching site constraints would likely preclude the principle of residential development in this established mixed-use area. Given the absence of any constraint, it is considered that the principle of development on the site is acceptable. This is however subject to compliance with all other relevant material planning considerations that are discussed in the succeeding sections of this report.

Character and Appearance

In this case the application seek consent for the erection of two dwelling houses which whilst modern, integrate a more traditional style frontage with the use of small, pitched gables over the first-floor master bedroom window, and split window features, the materiality includes brick design features and render, with a front wall and gate feature further complementing the design of the dwellings themselves. The building designs are deemed to be positive and respond well to the wider character and appearance of the area. It should be noted that previously, the application was refused owing to the poor siting of the dwellings which were effectively isolated within the car park with parking either side of the proposed dwellings. The amendments alter this by moving the access/parking to the north of the dwellings, which provide some separation between the pub car park and side elevation of the dwellings. Whilst the location adjacent to a car park is not unacceptable in principle, previously the dwellings appeared incongruous within the Street scene. The amended scheme, with the dwellings located 3.3m from the side elevation of the neighbouring pharmacy appear more of a coherent part of the street scene which aligns more positively with the wider pattern of development. No concerns are raised with respect of the setting of the locally listed public house.

Within the proposals it is noted that both refuse and cycle storage areas are located within the site for occupiers which is deemed positive. Overall, when considering the design of the dwellings as proposed in isolation the previous reason for refusal is deemed largely addressed in this respect. Whilst the wider design was also previously of concern with regards the location of the access to the retained public house car park, which was to the north, the amendments in this case are deemed albeit on balance to be acceptable given that highways no longer raise an objection to the application. The balance therefore weighs in favour of the development. It is considered that further information will be required in respect of materials, landscaping and boundary treatments, all of which have duly been secured via condition. With these conditions attached the application is deemed on balance to be acceptable.

Residential Amenity/Noise

Policies H3 and DE1 seek to ensure that development proposals for new residential development provide a quality environment for future occupiers and do not have a detrimental impact upon neighbouring residents. In this case objections have been received with respect to overlooking and loss of privacy were the dwellings to be delivered. When considering the impact in respect of overlooking/privacy, there is a requirement for two storey dwellings to have a minimum separation distance of at least

30m when taken from a first-floor window, reducing to 13m from rear to side. In this case, the dwellings sit in excess of 35m from the dwellings to the rear and are therefore in excess of this requirement. When considering the side-to-side relationship with the first-floor window to the nearest property (above the pharmacy to the south), there is only one small window (which appears secondary) at first floor level. With the amended proposals as submitted the dwellings will be sited 3.3m from the side elevation of the pharmacy and flat above, this will significantly impede the light and outlook of the window. However, given that this is secondary this is not deemed to be unacceptable.

Considering the amenity aspects for future occupiers of the application site, it is noted that the site meets the minimum standards within the Nationally Described Space Standards, as set out above, as do the rear gardens. Further information is however required in respect of noise impacts associated with the development. The siting of the properties directly adjacent to the public house car park, and on a busy route will require a noise assessment to ensure that future occupiers of any site have a quality living environment which is not undermined by noise or pollution issues. Anticipated mitigation measures would likely be in the form of trickle vents or similar on front facing windows, this has however duly been secured via condition together with a construction and environmental management plan to minimise disruption to neighbouring residents during the construction phase as far as possible.

Highways

As previously indicated, within the description of development the previous planning application was refused for the following reason;

'The contrived layout of the proposed access for the public house fails to consider the needs of vehicle movements entering and leaving the site, or take into account surrounding factors inclusive of the; presence of the bus stop, landscaping, on-street parking, and use of the 180 degree turning point by domestic and commercial vehicles. The resulting access proposal is deemed to be detrimental to the safety of highway users and exhibits a poor quality design which would have wider implications upon the surrounding area, contrary to Policies AC1, AC2, AC3 and DE1 of the adopted Coventry Local Plan 2017 and emerging Local Plan'.

As the reason for refusal sets out, it was considered that the location/siting of the previous access resulted in a contrived arrangement which resulted in a detrimental impact upon highway safety. This application seeks to address the previous reason for refusal by omitting the previous access point and creating a new access into the car park further to the south of the site, with the new dwellings parking area being accessed from a further crossing point 18.9m (not the 25m referenced within the transport note) to the south within a location similar to the existing car park. When considering the new access arrangement, it is noted that the solution is materially different from that previously proposed and has duly been considered in full by the Local Planning Authority in consultation with the Local Highway Authority.

The applicants have sought to address previous concerns raised in respect of vehicle parking; the technical note firstly states that the number of spaces within the pub car park are not required to exceed 17 spaces, and as such with the twenty spaces provided this would be deemed to be more than sufficient for users of the public house. This assessment has been made on the basis of beat surveys undertaken over three

consecutive days in November (7th - 9th) 2025. The surveys also included beat surveys taken over the same period of time for on street provision within 200m of the application site. Highways have accepted the results of the surveys together with an updated technical note which has also been supplemented by a Stage 1 Road Safety Audit (RSA).

The submitted RSA provides an audit of the issues with the proposed access arrangement. The recommended actions by the applicant's transport consultant identified two actions for (summarised);

- Impact of on-street parking with achieving a safe and suitable access
- Maintaining visibility splays

The required actions include the completion of further RSA's and the installation of parking controls within Station Avenue. When weighing the benefits of the delivery of two dwellings against the identified highway impacts, the council considers the balance now weighs in favour of the development. Highways have confirmed that no objections are raised but have indicated that consideration should be given to the implementation of parking restrictions in the vicinity of the proposed access as the Highway Authority cannot support pavement parking, which is currently an established practice along this section of Station Avenue. As such as part of the Section 278 (S278) process, parking restrictions and further RSA considerations will be addressed within the designer's response, with all associated details to be resolved at the detailed design stage ahead of first occupation. Taking the relevant highway matters into account the application is now deemed acceptable given highways are now satisfied that the previous reason for refusal has been addressed, subject to conditions and technical approval.

Drainage/Flood Risk

In this case the site lies wholly within flood zone 1 and is therefore deemed to be at the lowest risk of flooding. Unlike the previous application the LLFA have in this case responded to the application and raised a holding objection to the proposed development owing to the fact that no drainage information has been provided as part of the current application. However, whilst the objection is noted the Council considers it unreasonable to add an additional reason for refusal which was not previously appended. Indeed, it is considered that given that the site is primarily laid to hardstanding, the redevelopment is acceptable in principle and that a detailed drainage design could reasonably be secured via condition. As such, the case officer has engaged with the LLFA and agreed a condition which would allow for a consent to be issued, with the drainage design coming forward ahead of the commencement of the development. With this condition attached the application is deemed acceptable in this regard.

Ecology/Landscaping

The Environment Act 2023 requires development proposals to achieve a net gain of biodiversity within any qualifying planning application. In this case the site does not meet one of the exceptions set out under the PPG for negating any biodiversity net gain. The applicants have helpfully provided an ecological appraisal and completed biodiversity metric calculation which identifies that with the proposed changes within the submitted plans, the development would not result in any loss of biodiversity, indeed with the removal of the areas of hardstanding and additional incidental planting, the net gain which

would be achieved is 0.02 habitat units (taken from the DEFRA metric), which would equate to a 16.39% net percentage biodiversity gain of habitat units and a 61.54% net percentage biodiversity gain of hedgerow units. Therefore, the development will meet the mandatory 10% biodiversity net gain uplift.

The Council's Ecologist has been consulted and raises no objections to the development from a biodiversity perspective. Conditions have been appended to the decision securing details of external lighting and a Landscape and Ecological Management Plan.

With regards trees within the site, as set out within the site description the site does benefit from some arboricultural features around the car park, the majority of which will remain were planning permission granted, in accordance with Policy GE4 a landscaping condition has been appended to the decision together with provisions to retain existing trees where possible.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon neighbour amenity, highway safety or ecology and is deemed acceptable in design terms, subject to relevant conditions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies AC1, AC2, AC3, AC4, H3, DE1, EM4, EM5, GE1, GE3 and R3 of the Coventry Local Plan 2017 and the emerging Local Plan Policies together with the aims of the NPPF.

POLICY APPENDIX

- National Planning Policy Framework (NPPF) December 2024.
- Coventry Local Plan 2017 & Emerging Local Policy
- Supplementary Planning Guidance/ Documents (SPG/ SPD):
 - New Residential Design Guide

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

Principle of development

The NPPF 2024, paragraph 11, states that "Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

c) approving development proposals that accord with an up-to-date development plan without delay; or

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date , granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five-year supply of deliverable housing sites (with the appropriate buffer set out in paragraph 78).

Based on the provisions of the NPPF 2024 the Council can demonstrate a 5.91- year housing land supply as of 31st March 2025.

Impact on visual amenity

Policy DE1 of the Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

Paragraph 131 of the NPPF states the creation of high-quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

The National Planning Policy Framework, paragraph 135 states that "*Planning policies and decisions should ensure that developments:*

- a) *will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
- b) *are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*
- c) *are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*
- d) *establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.*
- e) *optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and*
- f) *create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.*

The NPPF further states (at paragraph 139) “Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”.

Policy H4 of the Local Plan requires proposals for residential development to include a mix of market housing which contributes towards a balance of house types and sizes across the city.

Highway considerations

Policy AC1 ‘Accessible Transport Network’ states that development proposals which are expected to generate additional trips on the transport network should: a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes. b) Consider the transport and accessibility needs of everyone living, working or visiting the city. c) Support the delivery of new and improved high quality local transport networks which are closely integrated into the built form. d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure.

Policy AC3 of the Local Plan acknowledges that the provision of car parking can influence occurrences of inappropriate on-street parking which can block access routes for emergency, refuse and delivery vehicles, block footways preventing access for pedestrians, reduce visibility at junctions and impact negatively on the street scene. Proposals for the provision of car parking associated with new development will be assessed on the basis of parking standards set out in Appendix 5. The car parking standards also include requirements for the provision of electric car charging and cycle parking infrastructure.

Parking provision should accord with the maximum standard expressed in Appendix 5 unless it has been clearly demonstrated that the site is in a highly accessible location where transport, by means other than the private car is a realistic alternative. In that

respect lower levels of provision may be considered acceptable where the site is in close proximity to the City Centre, a train station, a high-quality rapid transport route or other public transport interchange and where there is a package of measures (proportionate to the scale of development) to enable sustainable means of transport. Any variation from the maximum standard must be fully justified by proportionate evidence.

Flood Risk

Policy EM4 states that all major developments must be assessed in respect of the level of flood risk from all sources. If development in areas at risk of flooding is the only option following the application of the sequential test, it will only be permitted where the criteria set out in Policy EM4 are met.

Air quality

Policy EM7 states that major development schemes should promote a shift to the use of sustainable low emission transport to minimise the impact of vehicle emissions on air quality.

Ecology

Policy GE3 states that Sites of Specific Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced.

CONDITIONS/REASONS

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
2.	The development hereby permitted shall be carried out in accordance with the following approved plans: Biodiversity Net Gain Assessment Planning Statement Street Scene Context Plan Proposed Elevations DWG 103 P3 Proposed Floor Plan DWG 102 P3 Location Plan DWG 100 P5 Highways Technical Note. 2510-033/TN/01. Dated February 2026 Block Plan DWG 101 P7 Road Safety Audit
Reason	<i>For the avoidance of doubt and in the interests of proper planning.</i>
3.	Prior to the commencement of the development hereby permitted, a scheme shall be submitted to and approved in writing by the Local Planning Authority (LPA) for the provision of a Sustainable Urban Drainage System (SuDS) in

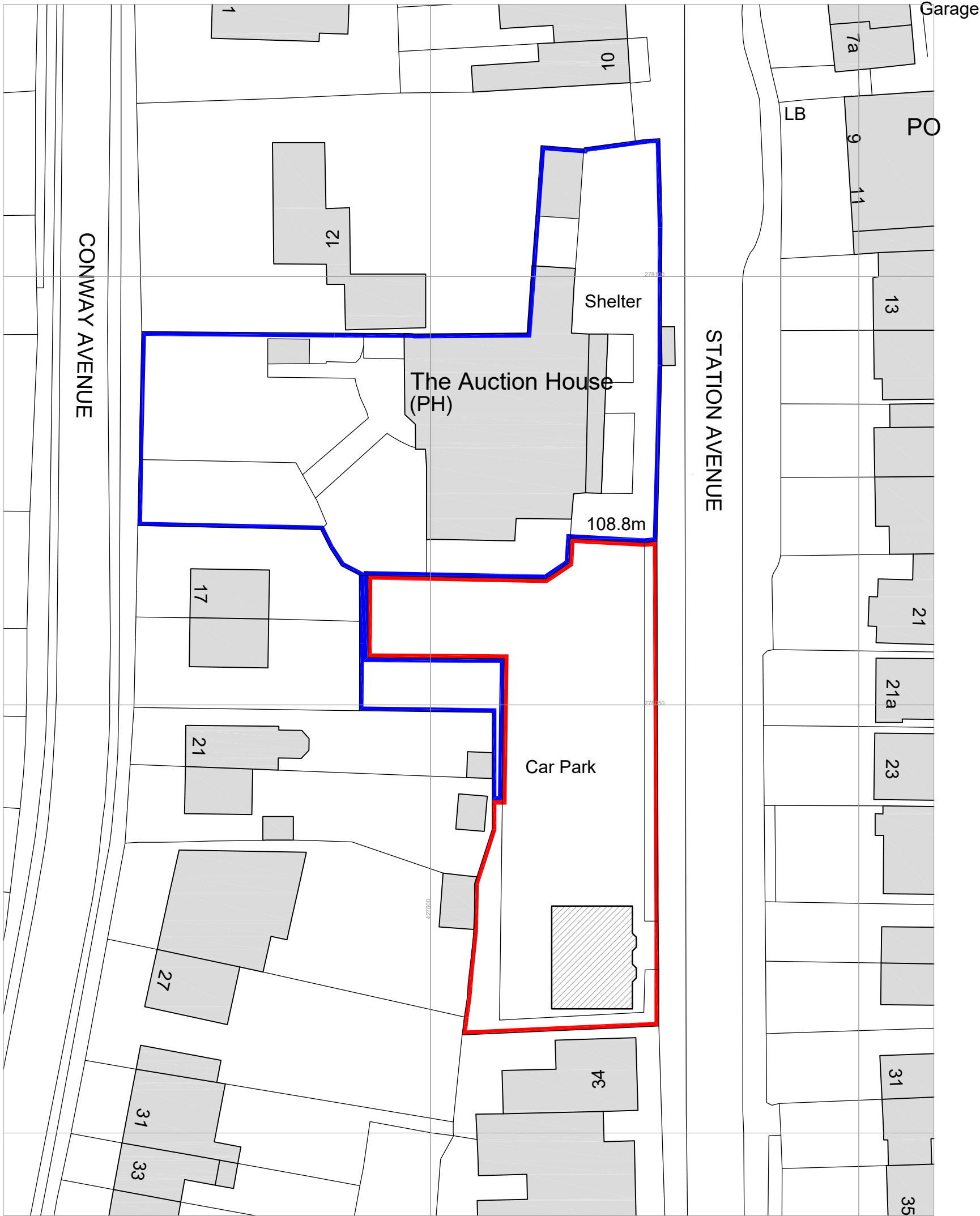
	accordance with the latest available design guidance. The submission shall include all relevant details and calculations to enable a full evaluation to be undertaken. The drainage details shall be installed in full accordance with the approved documentation prior to occupation of the development and thereafter shall be maintained and shall not be removed or altered in any way.
Reason	<i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with policies EM1, EM4 and EM5 of the Coventry Local Plan 2017 and Coventry City Council's adopted Supplementary Planning Document for Delivering a More Sustainable City.</i>
4.	Any gas boilers installed on site shall have a dry NOx emission rate of no more than 40mg/kWh. One electric vehicle recharging point per dwelling shall be provided prior to occupation and shall not be removed or altered in any way and shall be kept available for such use by residents at all times.
Reason	<i>To mitigate the impacts of development on air quality in accordance with Policy DS3 of the Coventry Local Plan 2017, the emerging Local Plan and the aims and objectives of the NPPF.</i>
5.	Prior to the first occupation of the development hereby permitted, details of both hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details of hard landscaping works shall include boundary treatment, including full details of the proposed boundary walls, railings and gates to be erected, specifying the type of bricks and colour of the railings and gates; footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area). The hard landscaping works shall be completed in strict accordance with the approved details within three months of the first occupation of the dwellings hereby permitted; and all planting shall be carried out in accordance with the approved details within the first planting and seeding seasons following the first occupation. Any trees or shrubs which within a period of five years from the completion of the development dies, is removed or becomes; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species. All hedging, trees and shrubs shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.
Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>

6.	Prior to their incorporation into the development hereby permitted, sample details of all facing and roofing materials shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
7.	Prior to the first occupation of the development hereby permitted together with the detailed landscaping plan, details of hedgehog friendly fencing shall be submitted to and approved in writing by the Local Planning Authority. The planting and habitats created, and hedgehog fencing shall be fully installed in strict accordance with the approved details prior to the first occupation of the development.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017, the emerging Local Plan and the advice contained within the NPPF.</i>
8.	Prior to the first occupation of the development hereby permitted a Landscape and Ecological Management Plan (LEMP) shall be submitted to and approved in writing by the Local Planning Authority. The content of the LEMP shall include the following: a) Description and evaluation of features to be managed; b) Ecological trends and constraints on site that might influence management; c) Aims and objectives of management, including mitigation and enhancement for species identified on site; d) Appropriate management option for achieving aims and objectives; e) Prescriptions for management actions; f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a ten-year period); g) Details of the body or organisation responsible for implementation of the plan, along with funding mechanism(s) for that body or organisation; h) Ongoing monitoring and remedial measures, including where monitoring shows that conservation aims and objectives of the LEMP are not being met. The LEMP plan shall be implemented in strict accordance with the approved details within three months of the first occupation of the development and thereafter shall not be withdrawn or amended in any way.
Reason	<i>In order to safeguard and enhance habitat on or adjacent to the site in order to secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
9.	No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include

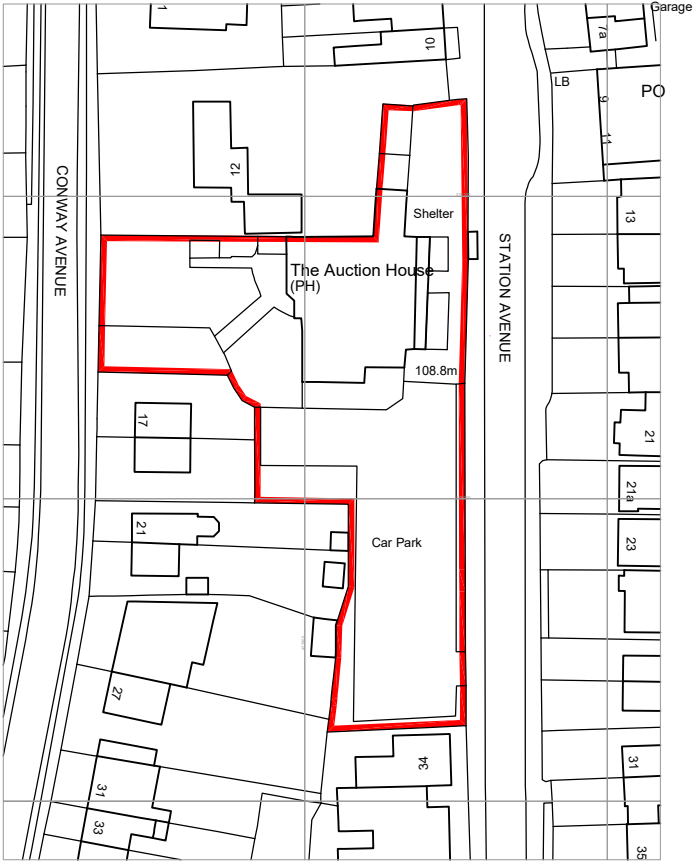
	details of: - hours of work; - hours of deliveries to the site; - the parking of vehicles of site operatives and visitors during the demolition/construction phase; - the delivery access point; - the loading and unloading of plant and materials; - anticipated size and frequency of vehicles moving to/from the site; - the storage of plant and materials used in constructing the development; - the erection and maintenance of a security hoarding; - wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway; - measures to control the emission of dust and dirt during demolition and construction; - measures to minimise noise disturbance to neighbouring properties during demolition and construction; - details of any piling together with details of how any associated vibration will be monitored and controlled; and - a scheme for recycling / disposing of waste resulting from demolition and construction works. Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.
Reason	<i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents and in the interests of highway safety during the construction process in accordance with Policies EM7, AC1 and AC2 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
10.	No development shall commence unless and until a noise assessment has been submitted to and approved in writing by the Local Planning Authority. The noise assessment shall include results for LAeq, LA10, and LA90 noise descriptors, together with a calculated arithmetical average for the LAeq. The assessment will demonstrate by calculation that internal noise levels for the proposed residential property meet the 'Good' criteria set out in British Standard 8233 'Sound Insulation and Noise Reduction for Buildings' together with any mitigation measures that are required to achieve this. The report shall also demonstrate that outdoor garden and leisure areas associated with this development meet the 55dB limit as required by the World Health Organisation (WHO). Prior to the first occupation of the buildings any necessary mitigation measures shall have been implemented in full accordance with the recommendations of the noise assessment and thereafter shall not be removed or altered in any way.
Reason	<i>To protect the amenities of future occupiers from road traffic noise and general disturbance in accordance with Policy H3 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
11.	The dwellings hereby permitted shall not be occupied unless and until details of the proposed cycle storage have been submitted to and approved in writing by the Local Planning Authority. The cycle storage shall be installed in full accordance with the approved details prior to occupation the approved cycle

	storage shall be implemented, and shall be retained therein after and kept available for this use at all times.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies AC4 of the Coventry Local Plan 2017 and emerging Local Plan.</i>
12.	Prior to the first occupation of the proposed dwellings hereby approved the car parking area serving the proposed dwellings shall be provided in accordance with details to be submitted to and approved in writing by the Local Planning Authority and the car parking area shall not thereafter be used for any other purpose than the parking of vehicles.
Reason	<i>In the interests of highway safety and to ensure the free flow of traffic using the adjoining highway.</i>
13.	Prior to the first occupation of the dwellings hereby permitted, details of the footway crossing for the vehicular access to the dwellings shall be submitted to and approved in writing by the Local Planning Authority. Then prior to occupation the footway crossover shall be implemented, retained therein after and kept available for this use at all times.
Reason	<i>In the interest of highway and pedestrian safety and ensure the free flow of traffic using the adjoining Highway.</i>
14.	No work shall commence on the dwellings hereby permitted until details of the new footway crossing to the public house have been submitted to and approved in writing by the Local Planning Authority and the crossing shall be installed in full accordance with the approved details and retained therein after and kept available for this use at all times.
Reason	<i>In the interest of highway and pedestrian safety and ensure the free flow of traffic using the adjoining Highway.</i>
15.	No structures including vegetation shall be placed within the 2m x 2m pedestrian visibility splays relating to both accesses (serving the dwellings and public house) and then be retained thereafter and kept free from all obstructions exceeding 600mm.
Reason	<i>In the interests of highway and pedestrian safety and to ensure the safe and free flow of traffic using the adjoining highway.</i>

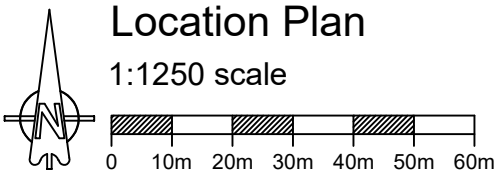
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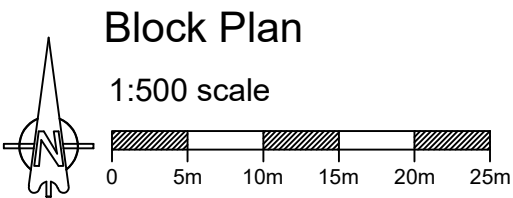


Location Plan

1:1250 scale

KEY

- Site to be retained
- Site to be developed



Block Plan

1:500 scale

P5	Dec 2025	Minor amendments	JB
P4	Sep 2025	Minor amendments	JB
P3	Sep 2025	Minor amendments	JB
P2	March 2025	Minor amendments	JB

Revision	Date	Description	Dwn	Chkd
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Drawing Title :
Block and Location Plan

Drawn By	Date	Checked By	Date	Approved By	Date
JB	Mar '25				

Drawing No	Revision	Scale
25.4550.100	P5	As Shown @ A2

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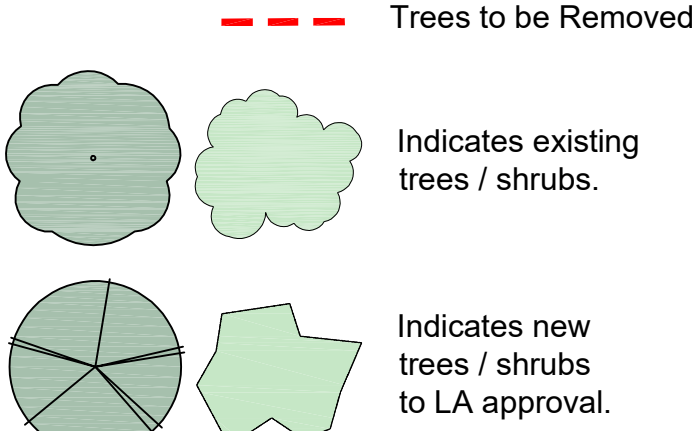
Schedule of Accommodation

	Area (GIA)	Garden
House 1	3B5P @ 96m ²	64m ²
House 2	3B5P @ 96m ²	85m ²

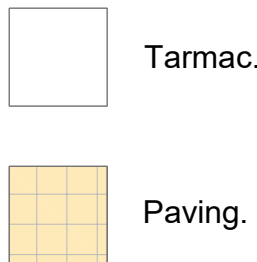
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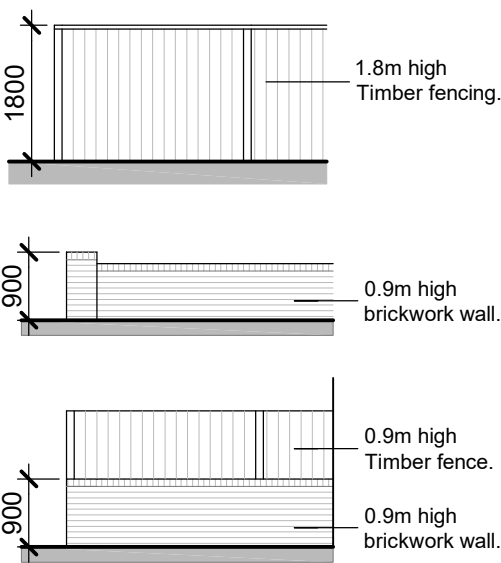
Soft Landscaping



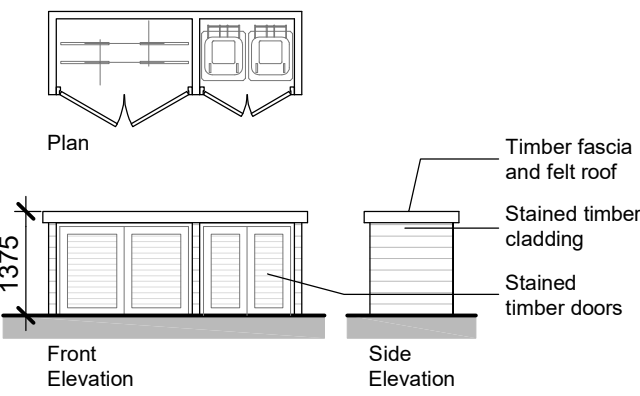
Hard Landscaping



Boundary Treatment Details



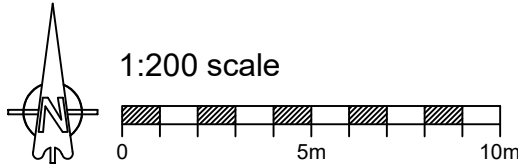
Bin / Cycle store details



EV Charging Point.

Notes:

No amendments are proposed for the existing Elevations.



P7	Sep 2025	Amendments to the site	JB	
P6	Sep 2025	Minor amendments to parking	JB	
P5	Sep 2025	Minor amendments	JB	
P4	July 2025	Minor amendments	JB	
P3	March 2025	Minor amendments	JB	
P2	March 2025	Minor amendments	JB	
Revision	Date	Description	Dwn	Chkd



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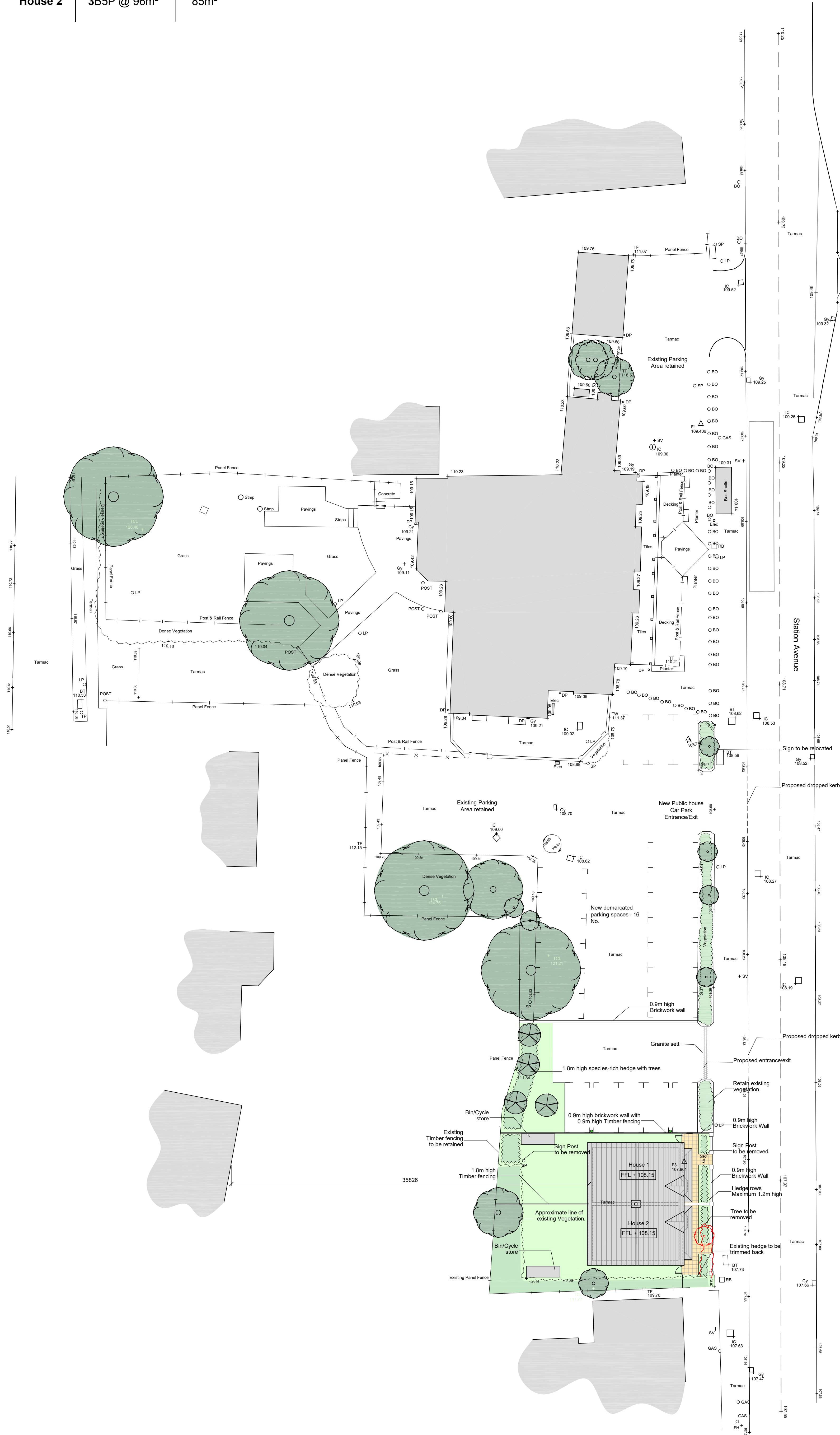
Drawing Title :

Proposed Site Layout

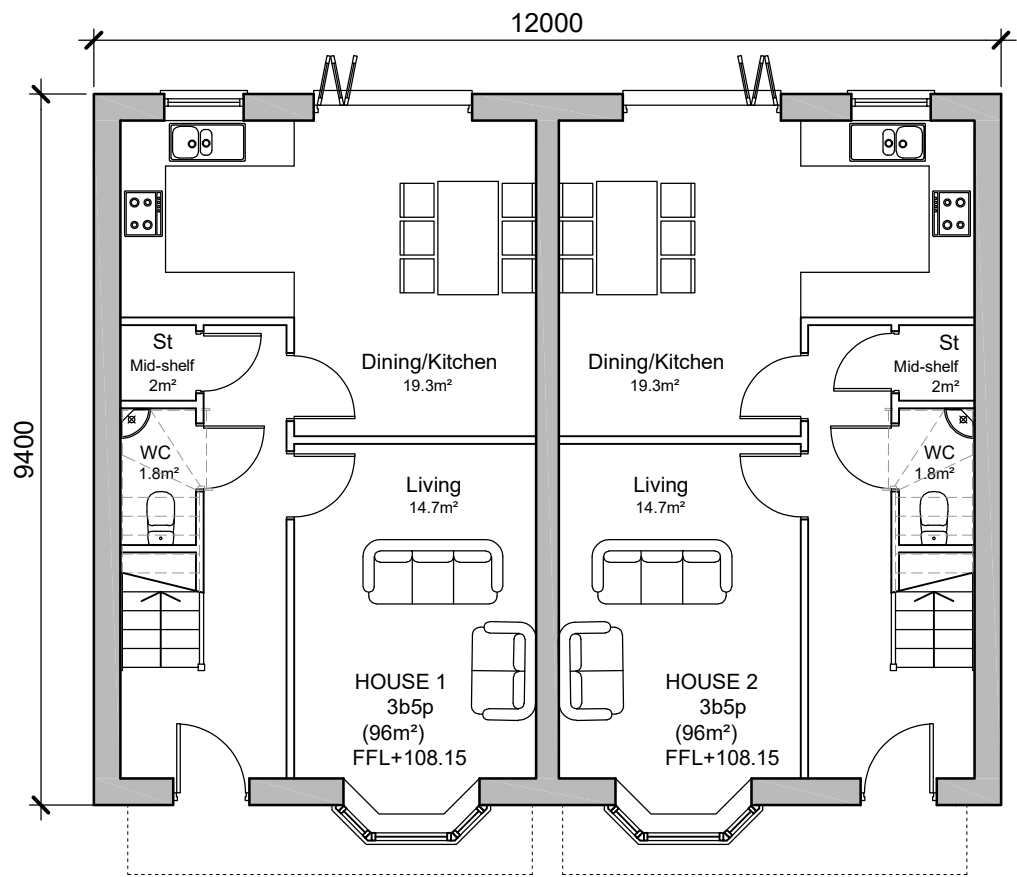
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JB	Mar '25				

Drawing No.	Revision	Scale
25.4550.101	P7	1:200 @ A1

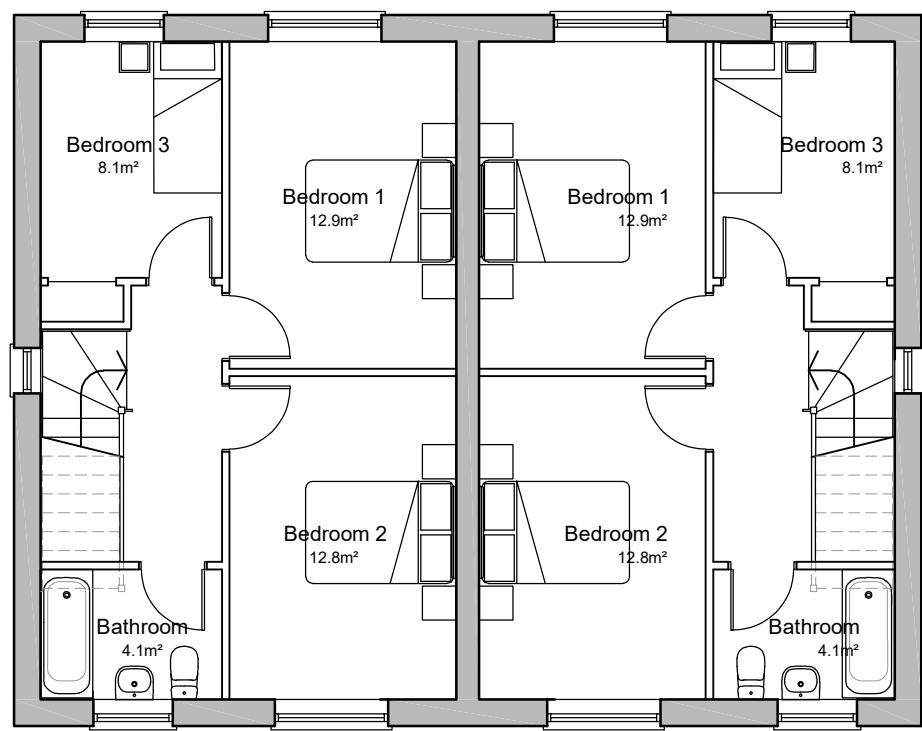
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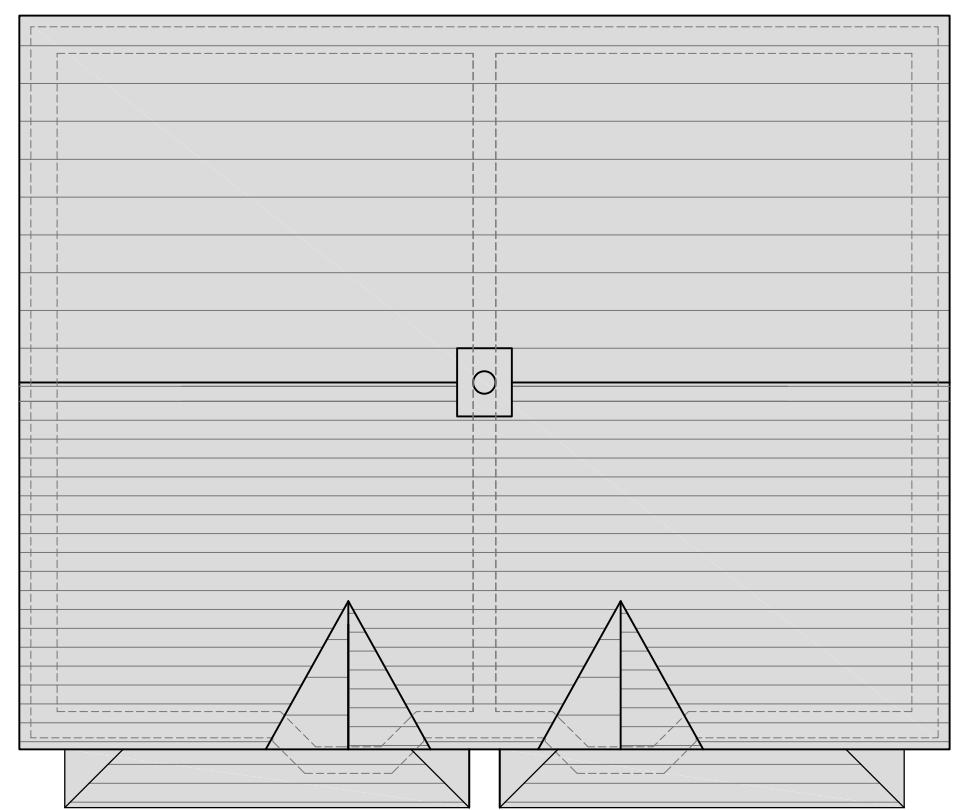
Proposed Site Layout



Proposed Ground Floor Plan



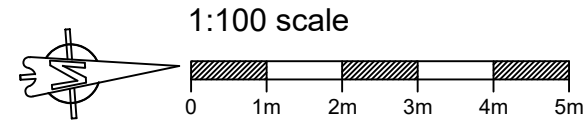
Proposed First Floor Plan



Proposed Roof Plan

NOTES

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P3	Sep 2025	Minor amendments	JB	
P2	March 2025	Minor amendments	JB	
Revision	Date	Description	Dwn	Chkd

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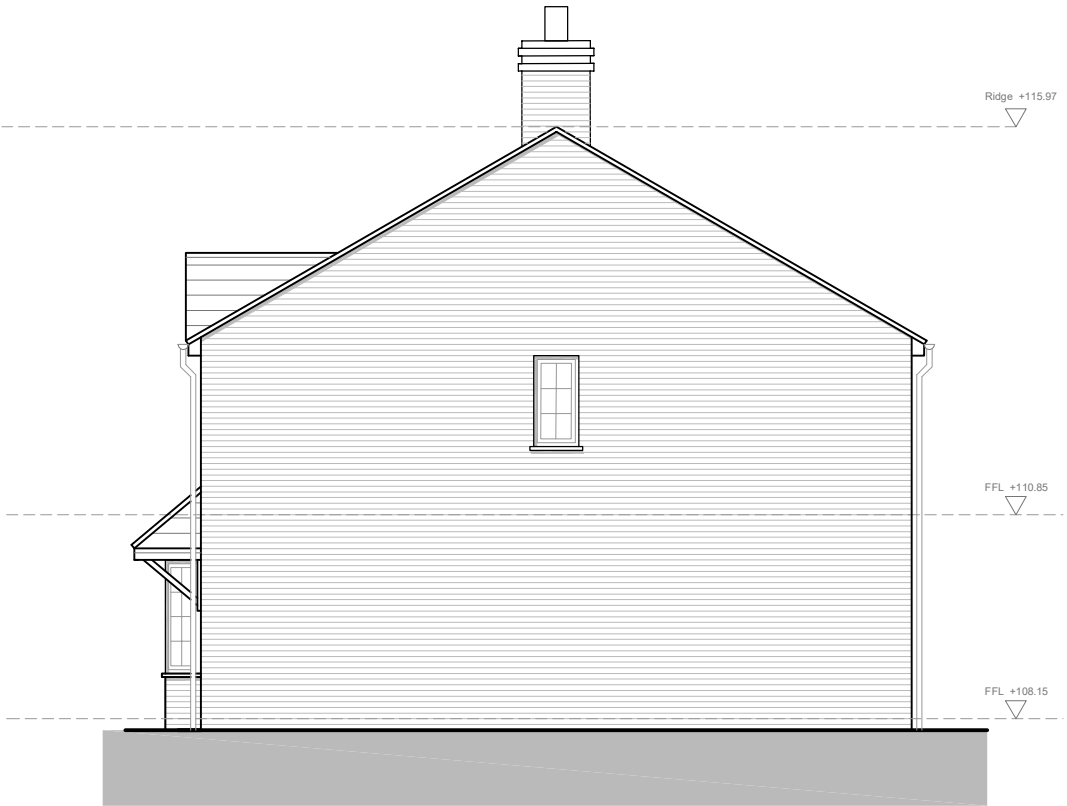
Drawing Title :
Proposed Plans

Drawn By	Date	Checked By	Date	Approved By	Date
JB	Mar '25				
Drawing No.	25.4550.102	Revision:	P3	Scale:	1:100 @A3

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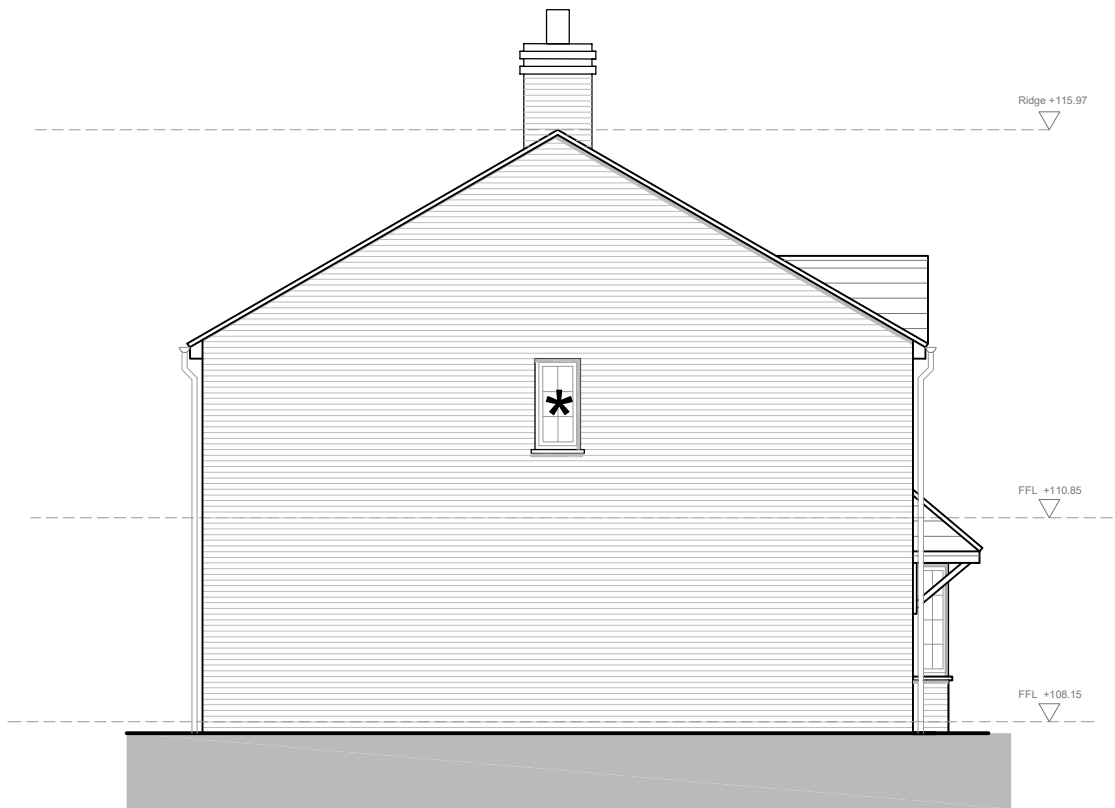
Proposed East Elevation



Proposed North Elevation



Proposed West Elevation



Proposed South Elevation

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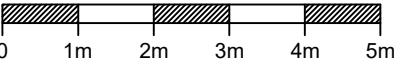
Notes:

* Denotes obscured glazing

External Materials

- ① Red facing brickwork (to LA approval)
- ② white UPVC windows and rear doors.
- ③ Composite doors
- ④ Slate roof tiles
- ⑤ White painted Timber fascias and soffits
- ⑥ White Painted render
- ⑦ Black UPVC rainwater goods

1:100 scale



P3	sep 2025	Minor amendments	JB
P2	March 2025	Minor amendments	JB

Revision	Date	Description	Dwn	Chkd
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Drawing Title:
Proposed Elevations

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Drawing No. 25.4550.103	Revision: P3	Scale: 1:100 @A3			

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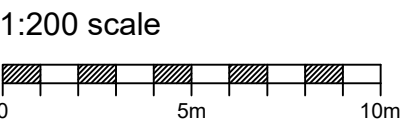
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Existing Context Elevation (Station Avenue)



Proposed Context Elevation (Station Avenue)



P5	Sep 2025	Minor amendments	JB	
P4	Sep 2025	Minor amendments	JB	
P3	March 2025	Minor amendments	JB	
P2	March 2025	Minor amendments	JB	
Revision	Date	Description	Dwn	Chkd

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Tile Hill, Station Ave, Coventry CV4 9HS

Drawing Title :
Proposed and Existing
Context Elevations

Drawn By	Date	Checked By	Date	Approved By	Date
JB	Mar '25				
Drawing No.	Revision	Scale			
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Planning Committee Report	
Planning Ref:	PL/2026/0000705/HHA
Site:	2 Cannon Hill Road, Coventry, CV4 7AZ
Ward:	Wainbody
Proposal:	Erection of a detached outbuilding
Case Officer:	Jasmine Couchman

INTRODUCTION

The application seeks consent for the erection of a detached outbuilding. The application has been reported to committee due to receiving over five objections.

An enforcement complaint (REF: CMP/2025/01321) was received on 09/10/2025 and was investigated. As the outbuilding is under construction, the enforcement officer was unable to determine if it could be constructed under Permitted Development or whether it would require formal planning permission.

RECOMMENDATION

Planning Committee are recommended to grant planning permission subject to conditions.

REASON FOR DECISION

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon design, neighbouring amenity, heritage assets or highway safety. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DS3, H5, DE1, HE2 and AC3 of the Coventry Local Plan 2017 and the emerging Local Plan Policies DS3, H5, DE1, HE2 and AC3 together with the aims of the NPPF. It is therefore recommended that planning permission is granted, subject to conditions.

SITE DESCRIPTION

The application site relates to a detached dwellinghouse. This property has a driveway to the front and a large rear garden. The dwelling is located adjacent, but not within, the Kenilworth Road Conservation Area. The application site is located in Flood Zone 1, where there is the lowest probability of fluvial flooding. Council mapping also confirms there are no known risks of surface water flooding affecting the area of the site where the outbuilding is sited.

APPLICATION PROPOSAL

The application seeks planning permission for the erection of a detached outbuilding. At the time of writing, the outbuilding is under construction and partially complete but is not yet watertight. Once complete the outbuilding is proposed to have a width of 8.5m and a depth of 6.7m. The outbuilding is also proposed to feature a dual-pitched roof, with a ridge height of 3.94m and a height of 2.46m to the eaves. It is designed with a door and one window to the front elevation, two windows to the rear and one window to the side. The outbuilding is to be finished in white render with interlocking roof tiles. The outbuilding is to be used as a gym with a W.C, incidental to the enjoyment of the dwellinghouse. It is

noted that the outbuilding replaces an existing structure in the same location, albeit on a larger scale.

RELEVANT PLANNING HISTORY

Application Number	Description of Development	Decision and Date
HH/2021/1991	Erection of two storey rear extension, single storey side extension, single storey front extension, increased roof ridge, attic conversion, installation of 4no. first floor side windows and 4no. side roof lights	Granted with conditions, 17/11/2021.

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) December 2024.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF, and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2017, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS3: Sustainable Development Policy

Policy H5: Managing Existing Housing Stock

Policy DE1: Ensuring High Quality Design

Policy HE2: Conservation and Heritage Assets

Policy AC3: Demand Management

Emerging Local Policy Guidance – Local Plan Review submitted to Planning Inspectorate for examination on 9th September 2025.

The Local Plan review is currently at Examination. Relevant emerging policy relating to this application is:

Policy DS3: Sustainable Development Policy

Policy H5: Managing Existing Housing Stock

Policy DE1: Ensuring High Quality Design

Policy HE2: Conservation and Heritage Assets

Policy AC3: Demand Management

Supplementary Planning Guidance/ Documents (SPG/SPD/DPD):
Householder Design Guide SPD

CONSULTATION

Neighbour consultation

Immediate neighbours and local councillors have been notified.

6 letters of objection have been received, raising the following material planning considerations:

- Impact on neighbouring amenity arising from the potential future use of the outbuilding as a self-contained residential unit or HMO, given its size and proximity to the University of Warwick
- Impact on on-street parking
- Noise pollution
- Impact on neighbouring privacy due to proximity to boundaries
- Scale and intensity is out of keeping with surrounding residential character
- Overdevelopment, the outbuilding is larger than other outbuildings in the area
- Harm to the adjacent conservation area due to scale, positioning and intensified use
- Concerns regarding the impact on drainage

Within the letters received the following non-material planning considerations were raised, these cannot be given due consideration in the planning process:

- Over intensification of the site due to the apparent sub-division of the main dwellinghouse
- Concerns regarding the impact on sewage capacity
- Lack of opportunity to mitigate impacts due to retrospective application

With regards to these representations, all were received from addresses within ¼ mile of the application site.

Any further comments received will be reported within late representations.

APPRAISAL

The issues in determining this application are principle of development, the impact upon the character of the area and heritage assets, the impact upon neighbouring amenity and highway considerations. The relevant policy texts for each issue are included in the Policy Appendix at the end of the report.

Principle of development

The application site is located in a residential area where it is considered sustainable, acceptable, and common to extend homes and construct outbuildings. However, it is important to ensure that outbuildings are in keeping with the design and character of the existing house and the surrounding area. There should also be no harmful impact on residential amenity. Materials, colours, textures and local distinctiveness should all be considered within the context of the local area to ensure a high-quality urban environment, in accordance with Policy DE1 of the Coventry Local Plan and the Householder Design Guide SPD, unless relevant planning considerations indicate otherwise.

Impact on visual amenity

The application site lies within a residential area where there are several examples of domestic outbuildings. The outbuilding that is the subject of this application is located at the end of the rear garden of 2 Cannon Hill Road, adjacent to the boundary with 6a, 4a and 4 Cannon Park Road and 70 Kenilworth Road.

Due to its siting at the rear of the plot, the structure will not be prominent from public vantage points along Cannon Hill Road, or Cannon Park Road. As such, it will have limited impact on the wider street scene and is not considered to have an unacceptable impact upon the character or appearance of the adjacent Kenilworth Road Conservation Area, due to its siting. Nevertheless, the outbuilding is to be constructed with a dual-pitched roof, featuring white render, which will complement the white render on the main dwellinghouse. Therefore, the proposal is considered to be acceptable in terms of its design quality.

While the outbuilding is larger than others in the locality, it remains proportionate to the size of the host dwelling and its plot, due to the large rear amenity space. Whilst the structure exceeds permitted development tolerances, its size, height and overall massing are not considered to be unreasonable or excessive. The development retains a large amount of garden space (over 790 sq m) ensuring the property continues to benefit from adequate outdoor amenity provision.

The outbuilding is of an acceptable design and appearance and is proposed to be positioned discreetly to the rear of the site, so its impact on the character of the street scene is limited. The proposal is therefore considered to comply with the Householder Design Guide SPD (2023) and Policy DE1 (Ensuring High Quality Design) of the Coventry Local Plan (2017).

Impact on residential amenity

Whilst the outbuilding is visible from neighbouring gardens and windows, this does not in itself equate to harm. As set out in the design assessment, the overall size, height and massing of the structure are not considered excessive for a domestic outbuilding and remain proportionate to the scale of the host dwelling and its plot.

The outbuilding is positioned approximately 40m from the dwellings which lie at a right angle to the site (4a and 4 Cannon Park Road), and over 45m from the host dwelling and its neighbouring dwellings. This separation ensures the proposal would not have an overbearing impact or cause a detrimental loss of light or outlook to habitable room windows.

The outbuilding is located only 3.2m from the side elevation of 6a Cannon Park Road; however, this property has no windows serving this elevation. With regards to loss of light to the rear amenity space serving this property, it is noted that the outbuilding replaces an existing structure in this location. Furthermore, due to the orientation of this dwelling, the house itself already restricts light reaching the rear garden. Also, the dual-pitched roof assists in reducing the overall bulk of the outbuilding; thus, the impact is deemed acceptable.

To all elevations, the outbuilding is visible above the boundary treatments, however, the large boundary hedges, when considered alongside the separation distances, significantly reduces the impact of the proposal. Moreover, the degree of projection will be further limited by the dual-pitched roof design, which will soften its appearance. The building is single-storey and contains no windows that result in the overlooking of neighbouring properties. It would not therefore introduce any harmful overlooking beyond that already possible from the host garden.

The stated use of the outbuilding is as a gym with WC, which is considered incidental to the enjoyment of the dwellinghouse and compatible with the residential character of the area. The proposed use is not expected to generate undue noise or disturbance, given its use. The applicant has confirmed there is no intention to use the building as a self-contained annexe. To safeguard neighbouring amenity, it is recommended that a condition is imposed to restrict the use of the outbuilding to purposes incidental to the enjoyment of the dwellinghouse and to prevent its use for commercial purposes or as a separate unit of accommodation without further planning consent.

It is noted that concern over the intensification of the residential site was raised in the representations, with a comment highlighting the apparent sub-division of the existing dwellinghouse. A site visit was undertaken by officers to assess the internal configuration of the house and confirmed that the dwelling has not been subdivided.

Taking the above into account, it is not considered that the outbuilding will cause unacceptable harm to the living conditions of neighbouring occupiers in terms of visual intrusion, loss of light, outlook or privacy. The proposed use as a gym with WC is incidental to the enjoyment of the dwellinghouse and would not give rise to undue noise or disturbance. Subject to a condition restricting its use to purposes incidental to the dwellinghouse, the proposal is therefore considered to accord with Policy DE1 of the Coventry Local Plan (2017) and the Householder Design Guide SPD (2023).

Heritage character of the area and Heritage Assets

The application site is located adjacent to the Kenilworth Road Conservation Area and so it is essential to assess if the proposal will have any unacceptable impact on the character and appearance of this heritage asset. It is considered that due to the scale and siting of the proposal to the back of the large rear garden, the outbuilding will not have any negative impacts on the character or appearance of the area. Therefore, the proposal is in accordance with Policy HE2 of the Coventry Local Plan and Chapter 16 of the NPPF (2024).

Highway considerations

The dwellinghouse benefits from generous off-road car parking provision on the front driveway as well as some on-road parking within the vicinity. The proposed outbuilding is located to the rear of the site and would not reduce off-street parking provision and therefore would not increase the demand for on-street parking. Therefore, the proposal would not adversely impact car parking or the highway network in accordance with Policy AC3 and Appendix 5 of the Coventry Local Plan and the Householder Design Guide SPD.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;

- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

In conclusion, the proposed development is considered to be acceptable in principle and will not result in any significant impact upon design, neighbouring amenity, heritage assets or highway safety. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DS3, H5, DE1, HE2 and AC3 of the Coventry Local Plan 2017 and the emerging Local Plan Policies DS3, H5, DE1, HE2 and AC3 together with the aims of the NPPF.

POLICY APPENDIX

- National Planning Policy Framework (NPPF) December 2024
- Coventry Local Plan 2017 and Emerging Local Policy
- Supplementary Planning Guidance/ Documents (SPG/ SPD)

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

Principle of development

The NPPF 2024, paragraph 11, states that "Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
 - i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or
 - ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

Policy H5 of the Coventry Local Plan the states that, "where appropriate, the existing housing stock will be renovated and improved, in association with the enhancement of the surrounding residential environment and to meet local housing needs".

Impact on visual amenity

Policy DE1 of the Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

Paragraph 131 of the NPPF states the creation of high-quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

The National Planning Policy Framework, paragraph 135 states that "Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The NPPF further states (at paragraph 139) “Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”.

Principle 7 of the Householder Design Guide 2023 SPD sets out the following design guidance principles for residential outbuildings:

- Garden buildings/sheds should be proportional to the scale of the associated dwellinghouse and plot.

Impact on residential amenity

Principle 7 of the Householder Design Guide 2023 SPD sets out the following design principles for residential outbuildings intending to protect neighbouring amenity:

- Garden buildings/ sheds should be proportional to the scale of the associated dwellinghouse and plot.
- Garden buildings/ sheds should be sited so they do not result in visual intrusion, overshadowing, overlooking or loss of privacy to neighbouring properties.
- Garden buildings/sheds/ outbuildings should only be used for purposes incidental to the use of the dwellinghouse and should not be used for commercial purposes or living accommodation.

Policies H5 and DE1 of the adopted Local Plan seek to ensure that development proposals do not result in a detrimental impact to existing/neighbouring residential occupiers, and the NPPF reaffirms the importance of quality design.

Heritage character of the area and Heritage Assets

Local Plan Policy HE2 reflects NPPF policy and states that development proposals involving heritage assets in general should acknowledge the significance of the area by means of their siting, massing, form, scale, materials and detail.

Highway considerations

Policy AC3 of the Local Plan acknowledges that the provision of car parking can influence occurrences of inappropriate on-street parking which can block access routes for

emergency, refuse and delivery vehicles, block footways preventing access for pedestrians, reduce visibility at junctions and impact negatively on the street scene. Proposals for the provision of car parking associated with new development will be assessed on the basis of parking standards set out in Appendix 5. The car parking standards also include requirements for the provision of electric car charging and cycle parking infrastructure.

The Householder Design Guide SPD 2023 states that front extensions should not reduce the parking provision available for the dwellinghouse. Where off-street parking is provided to the front of a dwellinghouse, this should meet the requirements of the Councils parking standards.

Appendix 5 of the Coventry Local Plan requires a minimum of 2 parking spaces for a 2 or more-bedroom house located in an 'outer city' location.

CONDITIONS/REASONS

1. The development hereby permitted shall begin not later than 3 years from the date of this decision.

Reason *To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)*

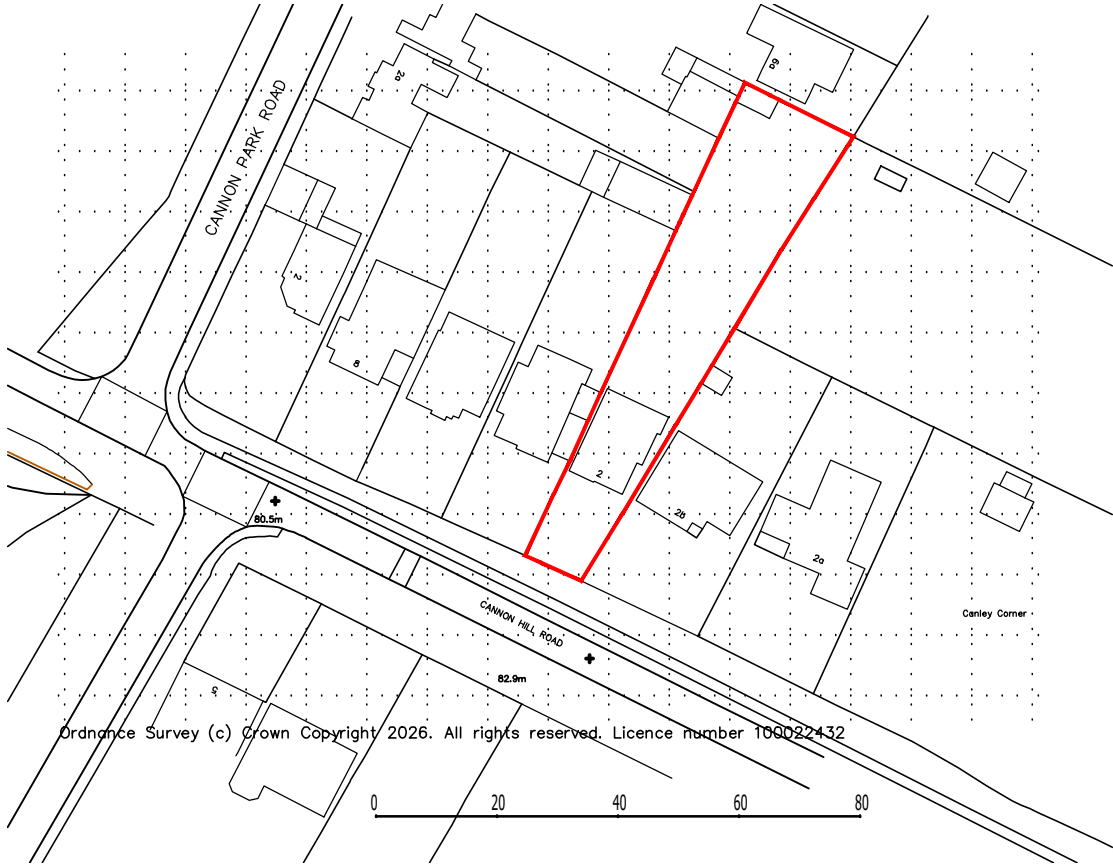
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
Site Block Plan DWG C1265 / 002
Location Plan DWG C1265 / 001
Proposed Floor Plans and Elevations DWG C1265 / 003 Rev B

Reason *For the avoidance of doubt and in the interests of proper planning.*

3. The building hereby permitted to be erected shall be used only for a purpose incidental to the residential use of the application property and the building shall not be used as primary living accommodation or for the purpose of any trade or business.

Reason *To ensure that the outbuilding is not used in a manner prejudicial to or likely to cause nuisance to occupiers of nearby properties in accordance with Policies DE1 and EM1 of the Coventry Local Plan 2017 and the emerging Local Plan.*

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This drawing is not intended to show details of foundations, ground conditions or ground contaminants. Each area of ground must be investigated and appropriate remedial measures must be taken. The Contractor is to investigate and verify all ground conditions, contamination or within the ground, should be further investigated by a suitable expert. Any surface contamination should indicate typical depths for guidance only & should be further investigated by a suitable expert.

Where existing trees are to be retained they should be subject to a full Arboricultural Inspection for safety. All trees are to be planted or as to ensure they are a minimum of 5 metres from buildings and 2 metres from drainage and services. A suitable method of foundation is to be provided by accommodation the proposed tree planting.

Sketch proposals are for illustrative purposes only & no such are subject to detailed site investigation including ground, contamination, drainage, design & planning regulatory requirements. Sketch proposals may be based upon interpretations of C&A sheets & should not be used as evidence in relation to C&A Regulations.

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Notes:

Revisions: Amendment Date: Name:

For guidance only. Do not scale off this drawing.

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1:6250 0 20m 40m 60m 80m 100m 120m

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CLIENT: Pam Hayre

PROJECT: 2 Cannon Hill Rd, Coventry CV4 7AZ

TITLE: Location Plan

Scale: 1:1250@A4 Date: APR 2026

Drawn: ZA Checked: KSN

Drg No: C1265 / 001



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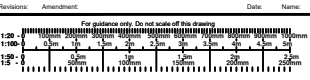
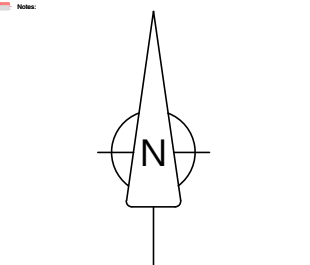
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This drawing is not intended to show details of foundations, ground conditions or ground contaminants. Each area of ground must have its own investigation and any necessary remedial measures must be investigated by the Contractor. A suitable method of investigation should be provided showing the existing ground conditions. Any aspect of field ground, contamination on or within the ground, should be further investigated by a suitable expert. Any surface contamination should indicate typical slopes for guidance only & should be further investigated by a suitable expert.

Where existing trees are to be retained they should be subject to a full Arboricultural Inspection for safety. All trees are to be planted so as to ensure they are a minimum of 5 metres from buildings and 2 metres from drainage and services. A suitable method of foundation is to be provided to accommodate the proposed tree planting.

Search proposals are for illustrative purposes only & no work is subject to detailed site investigation including ground, contamination, storage, design & planning-related requirements. Search proposals may be based upon interpretations of old records & visual examination of existing site features, necessary will therefore need to be verified by survey. Search proposals have not been considered in respect of CDM Regulations.

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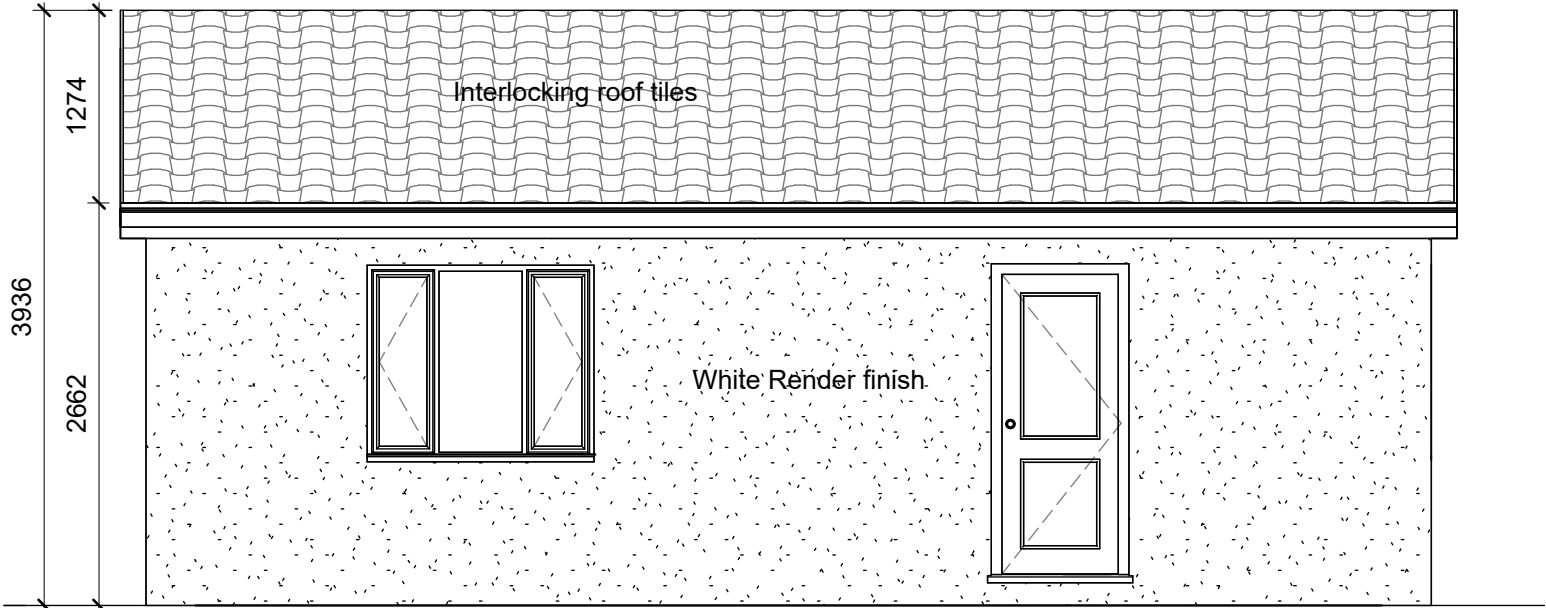


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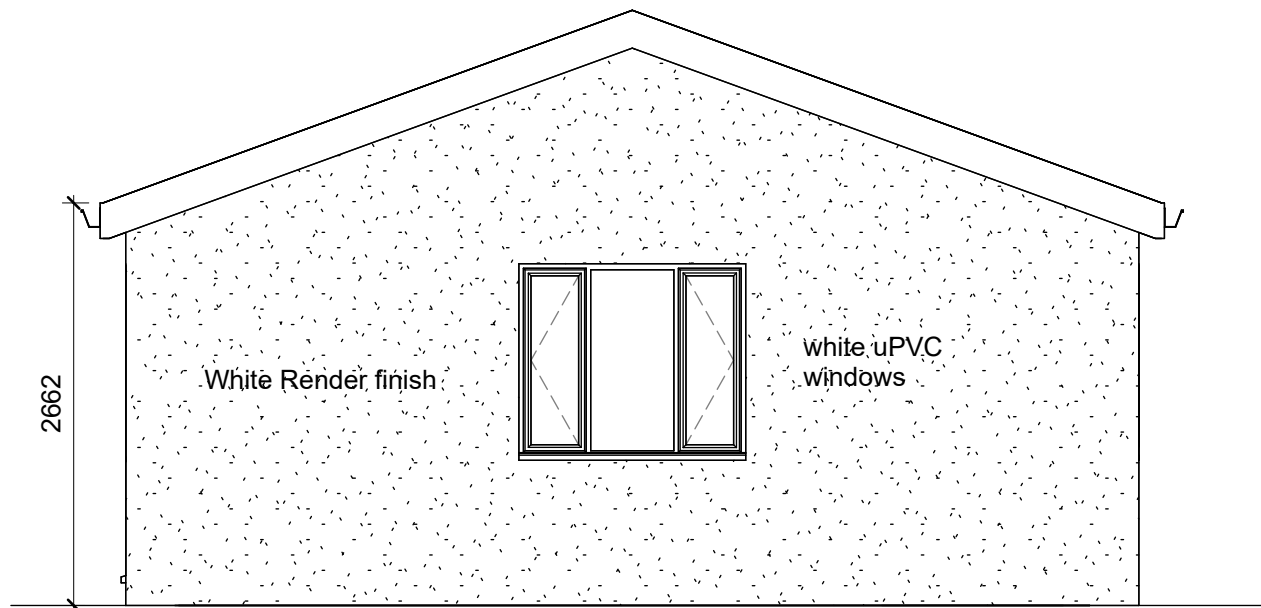
CLIENT: Pam Hayre
PROJECT: 2 Cannon Hill Rd, Coventry CV4 7AZ
TITLE: Site Block Plan

Scale: 1:500@A4	Date: APR 2026
Drawn: ZA	Checked: KSN
Drg No: C1265 / 001	

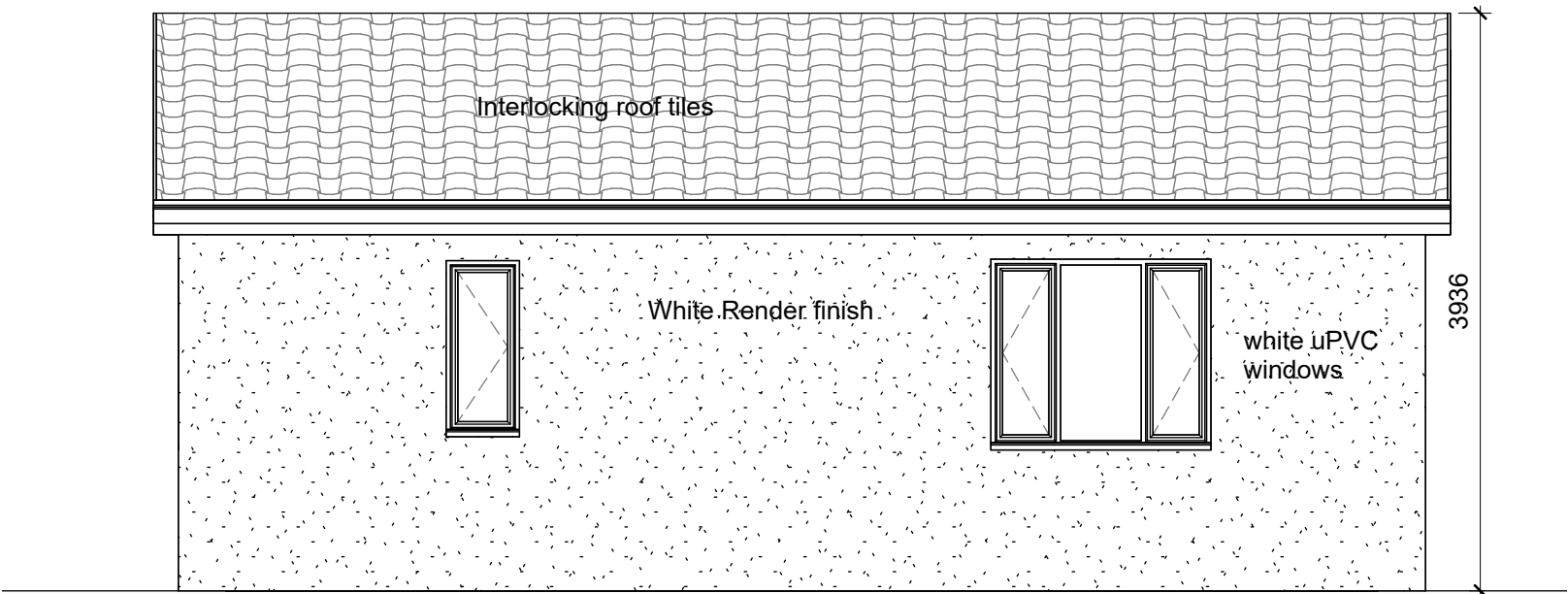
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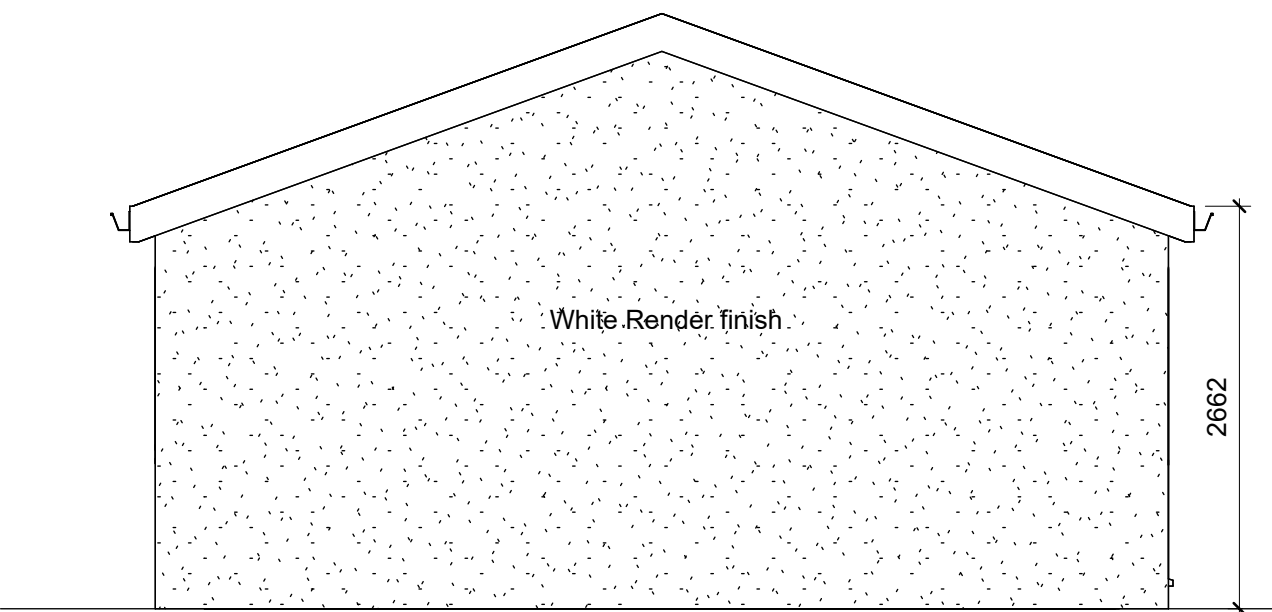
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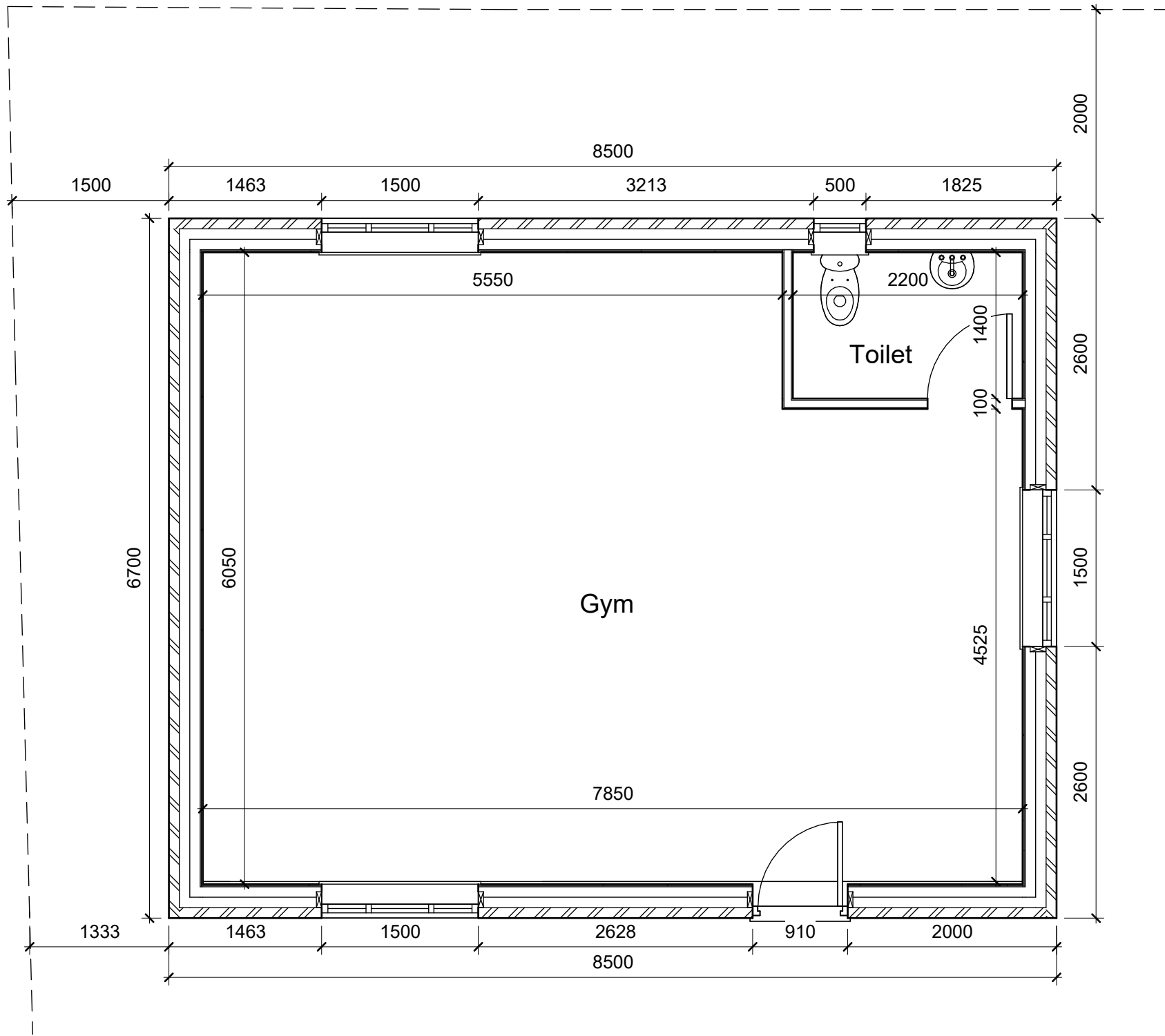
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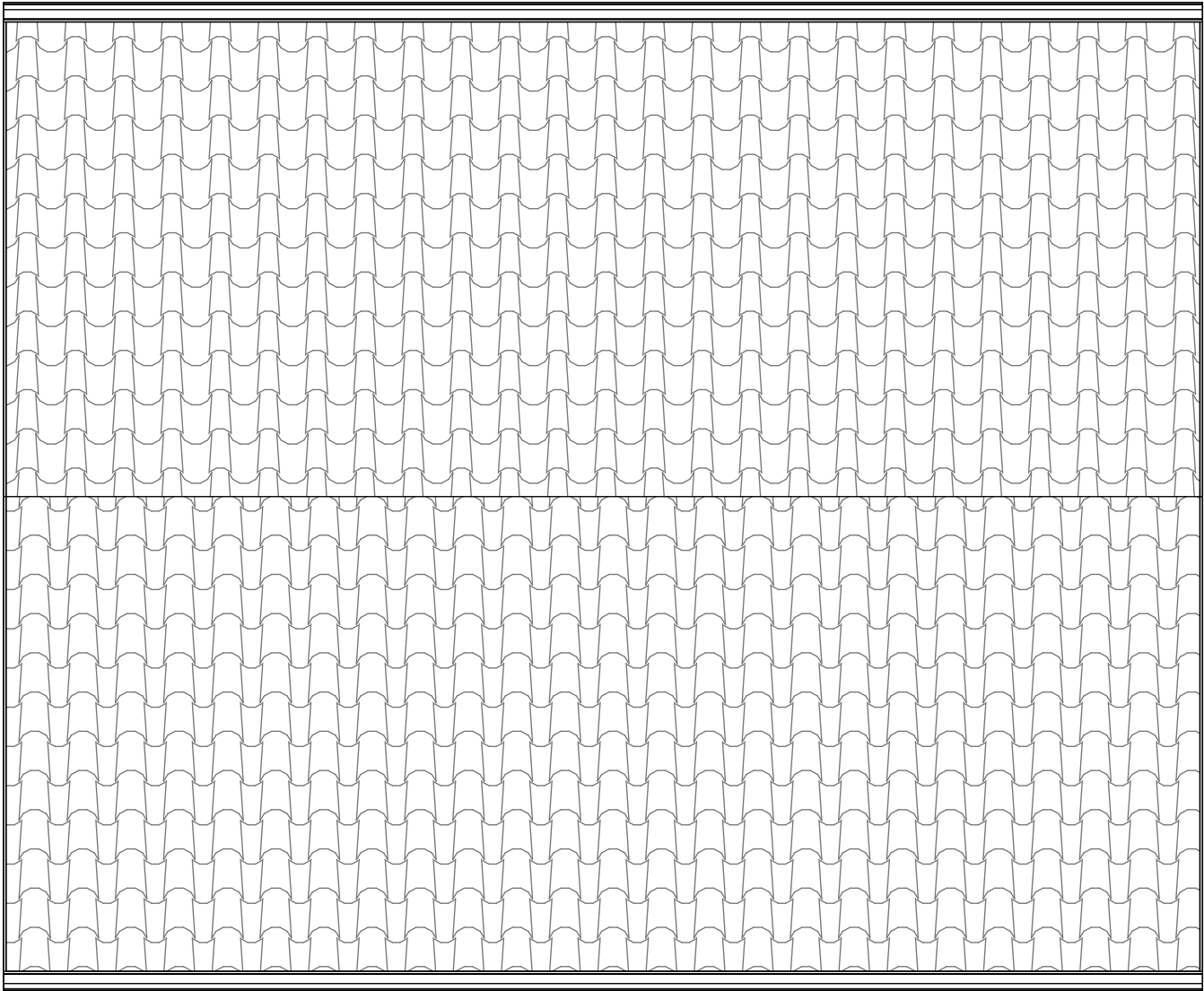
Proposed Rear Elevation



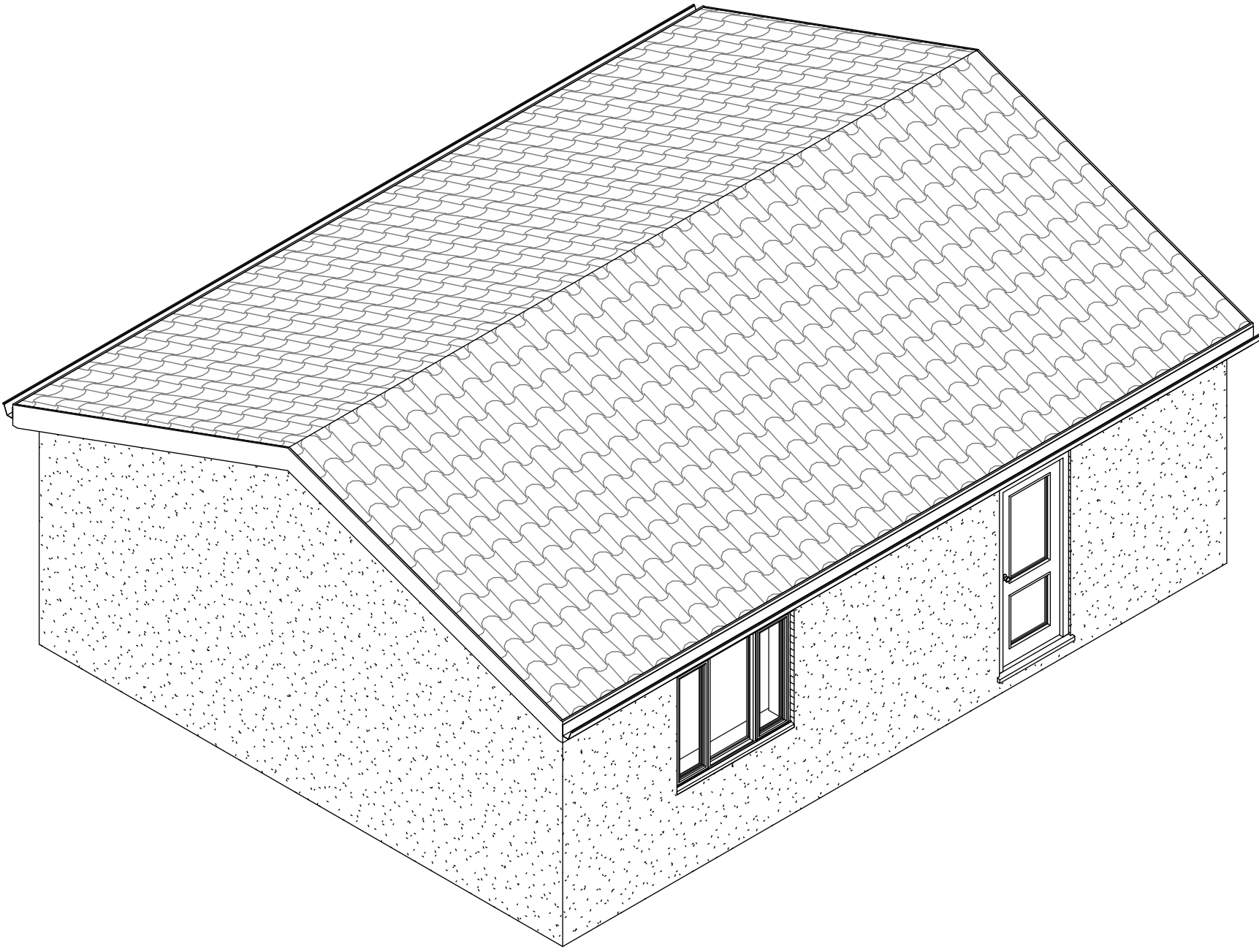
Proposed Side Elevation



Proposed Ground Floor Plan



Proposed Roof Plan



Proposed 3D View

Rev B - 230.06.2026 - External finishes added. KSN

Rev A - 08.05.2026 - Roof changed and internal alterations. KSN

REVISIONS

PLANNING



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CLIENT
JOB TITLE
DRAWING TITLE
DRAWING NO.

Pam Hayre
Erection of Rear Out-Building
Proposed Rear Out-Building Plans and Elevations
C1265 / 003 Rev B

SCALE @ A1
DATE
DRAWN
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1:50, 1:100
May 2026
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